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1. Description of Service

This functional design brief describes the operational and design requirements to support the ACT Health Directorate and the Northside Hospital Enabling Works Project in planning for the permanent relocation of Gawanggal Low Secure Inpatient Forensic Mental Health Unit. This functional design brief is based on the 2024 Canberra Health Service Forensic Mental Health Inpatient Services Model of Care, which are comprised of the medium secure inpatient service (Dhulwa) and the low secure inpatient service (Gawanggal). The vision for Canberra Health Service Forensic Mental Health Inpatient Services is *"Hope, healing, and creating meaningful lives for a safer future together"*.

The three specialised functions of CHS Forensic Mental Health Inpatient Services support are:

- Assessment and stabilisation (Dhulwa - medium secure)
- Rehabilitation (Dhulwa - medium secure)
- **Community reintegration (Gawanggal - low secure) – scope of this functional brief**

Gawanggal is a lower security step-down community reintegration facility for people transitioning from Dhulwa. The goal of low secure community reintegration is to bring together skills, learning and wellbeing improvements and build independence and connections to reintegrate into the community safely.

Therapeutic support encompasses interventions and services that promote consumers' recovery and wellbeing across the domains of secure recovery. These supports are provided through an MDT approach. MDT members collaborate to deliver comprehensive and individualised recovery-led interventions aligned to a co-designed consumer care plan. These supports are delivered across the functions of assessment and stabilisation, rehabilitation and community reintegration.

Table 1 – Gawanggal: Low Secure Inpatient Community Transition Unit Role Delineation and Project Scope

Modality	Current RD - 2023	Future RD - 2033	Current Treatment Spaces - 2023	Project Scope
Gawanggal Secure Inpatient Rehabilitation Unit	TBC	TBC	10	10

The Australasian Health Facility Guidelines (AushFG) have been used to inform the development of this Functional Brief, including the schedule of accommodation. The following Health Planning Unit (HPU) have been used for this service:

- HPU 131 - Mental Health – Overarching Guideline
- HPU 136 - Non Acute Inpatient Mental Health Unit– 01/02/2019

Unit above have been used as a starting point with users, and this brief reflects the model of care as informed by the Project User Group. Changes to the brief may be required once a site has been identified to accommodate site/refurbishment restrictions.

2. Model of Care and Service Delivery

Gawanggal is a low secure mental health unit that provides forensic community focused clinical interventions, with the foundations of care based on relational security, trust and rapport. It is a gazetted facility in accordance with the *Mental Health ACT 2015* and admits consumers requiring predominantly involuntary mental health care.



ACT mental health legislation outlines the circumstances in which a person with a mental illness or disorder can be assessed, treated, cared for and supported. Appropriate treatment and care should be provided in the least restrictive environment possible. All people admitted to Canberra Health Service (CHS) Forensic Mental Health Inpatient Services have the same rights to access and quality of health care as the general population.

The guiding principles of the model of care are:



The goal of the unit is to bring together skills, learning and wellbeing improvements and build independence and connections to reintegrate into the community safely. This is usually done through:

- Building on life skills developed in higher security settings with increasing personal responsibility and accountability
- Promoting community integration by graduated engagement in community-based activities
- Partnering with community support services to:
 - i. obtain appropriate accommodation
 - ii. create relationships with community mental health services
 - iii. engage with disability support services (including NDIS)
 - iv. build a range of wellbeing supports
 - v. participate in meaningful vocational activities
 - vi. strengthen social networks
- Sharing information between relevant agencies, including criminal justice, health and social services
- Planning discharge for community-based treatment involving family and carers, health services and support agencies.

Examples of therapeutic supports

Holistic care is provided, recognising the complexity of mental illness, trauma, cognitive disabilities, addiction, and other factors impacting a person's ability to make change. Clinical interventions are provided (both in group and individual formats) to support consumers to understand their physical and mental health needs and make personal changes to manage their own risk of offending in the future. This includes behaviour change programs, other psychological therapies, and the full range of medical and psychosocial interventions. The approaches used may include but are not limited to:



- Assessment, diagnosis and formulation
- Medication management
- Psychoeducation
- Psychological interventions
- Art and other similar therapies
- Physical health support
- Substance misuse treatment
- Offending behaviour interventions.

Wellbeing supports enhance consumers' overall quality of life and psychological wellbeing, emphasising practical, meaningful activities. These include but are not limited to:

- Employment and educational programs (e.g., job readiness, first aid, adult learning courses, resume writing, trade skills)
- Accommodation supports
- Lifestyle and recreation activities (e.g., shopping, sports, arts groups, meaningful hobbies)
- Recovery programs (e.g., self-care, activities of daily living)
- Engagement with people with lived experience for peer support (consumer and carer) and system navigation
- Practical support (e.g., financial, transport, personal administration)
- Health management (e.g., engagement with the health system, physical activity, health promotion, nutrition)
- Family, carer and supporter engagement and contact
- Community reintegration (e.g., attending community programs and locations).

Consumer Cohort

Consumers admitted to Gawanggal are over 18 years old who require graduated community reintegration after achieving sufficient rehabilitation within the forensic mental health system. Consumers present with diverse backgrounds including varying culture, age, physical/intellectual/cognitive ability, language, gender and sexuality, and neurodiversity. Services are onsite or community based and will depend on consumer need. The expected average length of stay is 12 months, with consumers typically receiving more onsite care at the commencement of their stay, gradually moving to more community-based care across the length of stay. Consumers will typically access escorted leave for the first 6 months of their stay, increasing to approximately 30% unescorted leave later in their stay.

3. Specific Operational Policies and Procedures

Note: Gawanggal shares some of its operational policies and procedures with Dhulwa Secure Mental Health Unit, which will need to be reviewed in the event that the future site for Gawanggal is not co-located with Dhulwa.

3.1 General

3.1.1 Opening Hours

Gawanggal operates 24 hours a day, 7 days a week.



3.1.2 Admission and Discharge Procedures

Admissions are predominantly involuntary and are strategically planned. The service is adequately staffed to ensure that admissions and discharges are supported. Admissions and discharges will most likely occur during regular business hours. Transition planning begins at admission.

To be eligible for Gawanggal, consumers must be subject to a mental health order under the Mental Health Act 2015, and meet the following inclusion criteria:

- Be unable to receive treatment in a less secure non-forensic mental health service (i.e., pose a danger of serious harm to others).
- Have completed a period of mental health treatment and care at Dhulwa.

The exclusion criteria are:

- Those who are sentenced or remanded to custody.
- Those who are assessed through a validated assessment tool as requiring a level of therapeutic security commensurate with a medium and high secure service.

3.1.3 Access, Safety and Security

- The Mental Health (Secure Facilities) Act 2016 does not apply to Gawanggal
- Use of public transport (mainly buses) by consumers support may occur as part of therapeutic programs and leave. Access to public transport routes will be an important consideration.
- In house Patient Transport service will be used for therapeutic and recreational leave.
- Shared access for staff/consumer/visitor entry is sufficient, with an additional entry/access point for deliveries (e.g. food services).
- Provision for an ambulance/disabled bay would be beneficial.
- Staff-only areas will be secured at all times, with access provided by use of proximity card readers.
- CCTV is required for external entry points and in high-risk areas (e.g. kitchen and corridors). Line of sight visibility to shared consumer spaces is necessary.
- No on-site security is required - security is currently linked with Dhulwa.
- Fixed duress is required in interview rooms and consult rooms that do not allow client access without staff present AND do not have line of sight visibility. All staff will have access to personal duress (currently linked with Dhulwa)
- Separate staff and visitor parking areas are required (for staff safety and security).

3.2 Clinical Support Services

- Consumers will require occasional access to clinical support services such as medical imaging.
- When required and if within walking distance to the main hospital, consumers will walk if able, escorted by staff to the main hospital. If the unit is located further from the main hospital, a service van or sedan sized vehicle will transport patients to the main hospital and back.
- Pathology samples will be collected on the unit in a consult room or similar clinical space, and sent to the hospital.



- Pharmacists will visit the service with medication.

3.3 Non-Clinical Support Services

- Cleaning and waste will be managed in line with collocated facility e.g. Dhulwa or main hospital.
- Consumers at Gawanggal will be mostly self-catering (residential-style approach, cooking own meals in kitchen with grocery items brought in the front door and stored in pantry joinery and fridge). Occasionally small volumes (1-4) of meals may be delivered by the collocated service e.g. Dhulwa or main hospital.
- Bed linen and towels will be managed by the collocated service e.g. Dhulwa or main hospital. Consumers will wash and dry their own clothes in the therapeutic laundry on the unit.

3.4 IT and Communications

- Wi-Fi throughout building, smartboards/smart TVs in designated areas, laptops & desktops for staff and consumer use.
- Consumers have access to personal devices while on the unit and will require charging power points in bedrooms and select common areas, and phone lockers in entry/waiting space (between main doors and staff/nursing station).
- Consumer to nurse call system is required from bedrooms to staff zones.
- Shared desktop computers with line of sight visibility are required for consumer use within at least one of the larger shared consumer spaces.
- Audio-visual entertainment systems will be required in activity/lounge spaces.

3.5 Support Space and Amenities

- Secure staff amenities and support spaces will be provided.
- Staff room with beverage bay and amenities for up to 10 staff members (maximum) onsite at any one time.

4. Workforce

This information has been used to inform the allocation of staff amenities (e.g. toilets, office/ workstation allocation etc.). Source: CFHS Forensic Mental Health Inpatient Services Model of Care, 2024. SOA estimates have been based on budgeted FTE. 40% utilisation has been applied to shared staff (see excerpt of Dhulwa staffing profile on next page noting shared roles).



Gawanggal Mental Health Unit staffing profile

Position Title	Classification	Budgeted FTE 2022	Headcount 2022	Comments
Medical Staff				
Psychiatrist	Medical Officer	0.5	1	
Psychiatric Registrar	Medical officer	1	1	
Nursing Staff				
RN 2	Level 2	5.70	2	
RN	Level 1	3.51	7	All level 1 RN are at a senior 1.8 level
EN	EN	2.19	1	
AIN	AIN	3.51	4	
Administration				
Admin	ASO 3	1	1	
Support Services				
HSO4	4	Unfunded 4.0	4	



Dhulwa Mental Health Unit staffing profile

Position Title	Classification	Budgeted FTE 2022	Headcount 2022	Comments
Medical Staff				
Director Forensic Mental Health Services	Medical Officer	1	1	Works across CHS Forensic Mental Health Service
Forensic Psychiatrist	Medical Officer	2	2	
Psychiatric Registrar	Medical officer	1	1	
Nursing Staff				
Assistant Director of Nursing	RN4.2	1	1	Indirect. Works across both Dhulwa and Gawanggal
Clinical Nurse Consultant	RN3.2	1	1	Indirect. Works across both Dhulwa and Gawanggal
Roster Manager	RN3.1	1	1	Indirect Works across both Dhulwa and Gawanggal
Clinical Nurse Educator	RN3	1	1	Indirect. Works across both Dhulwa and Gawanggal
Alcohol and Other drugs	RN2	1	1	Indirect. Works across both Dhulwa and Gawanggal
Clinical Development Nurse	RN2	2	2	Indirect. Works across both Dhulwa and Gawanggal

5. Functional Relationships

Functional relationships are required to support consumer, staff, visitor and equipment movements within the unit.

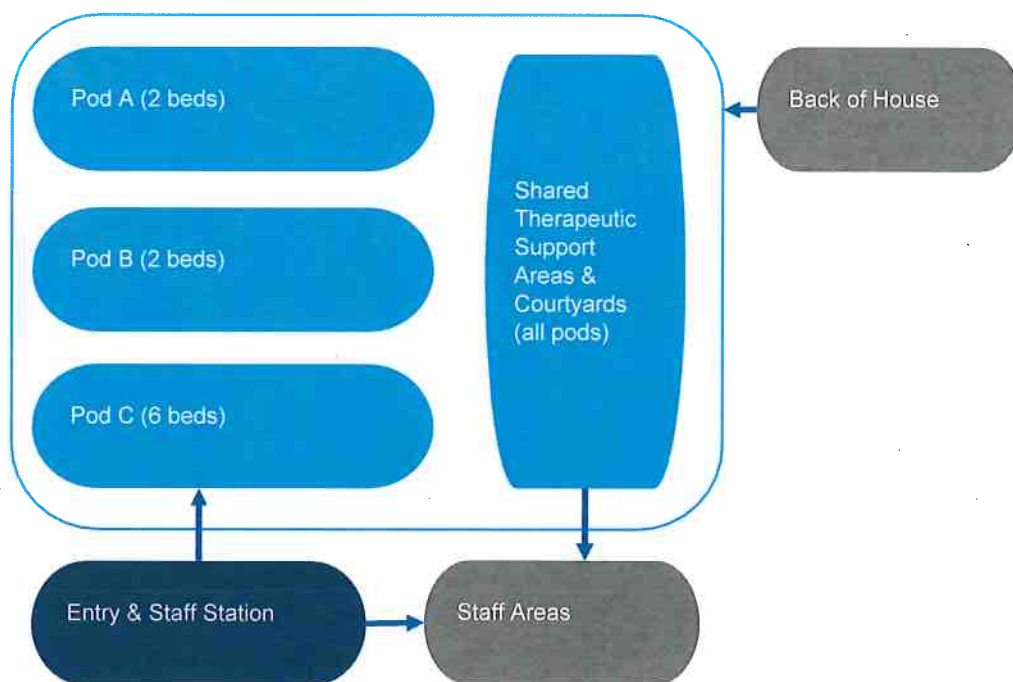
5.1 External Relationships

Operational procedures and functions e.g. staffing models, back of house services, will ideally be shared with Dhulwa Secure Mental Health Unit. Operational external relationships are described in the model of care.



5.2 Internal Relationships

Figure 1 – Internal Functional Relationships Diagram



6. Design Requirements

6.1 Australasian Health Facility Guidelines

The size of rooms and fit-out should comply with the AusHFG Standard Components. Detailed information will only be provided in this section when requirements vary, or a standard component does not exist or there needs to be a variation in the approach of a typical room.

6.2 Applicable to All Spaces

- Facility design needs to enable a robust therapeutic environment which promotes engagement and a sense of safety where consumers can move around freely without duress of any kind.
- Trauma informed, recovery focused, non-clinical design with welcoming spaces that provide a progression from the medium-secure unit, but still enable staff to manage potential risks in relation to mental health and problematic behaviours, including the ability to manage staff and consumer safety and movement in the event of an incident.
- Facility design should enable staff and consumer interaction and a high level of collaboration and therapeutic rapport.
- Maintaining visual observations, engagement and oversight (i.e. physical oversight and monitoring) is an important factor in service provision. The priority for line of sight is for the shared living/dining areas.



- Unit does not need to have completely anti-ligature design however consumers may still be vulnerable to relapse. Further review is required in future design stages regarding which rooms have anti-ligature design and to what extent.
- Courtyard and outdoor allocation can be split into smaller spaces or joint into larger spaces with PUG review, noting a combined total of 100m² (10m² per bed) is required.

6.3 Entry/Reception

- Airlock entry with double door is required to control the flow of people into the unit, but this does not require custodial programming (only one door open at a time).
- Entry should have access to Patient/Visitor Lounge with a link to outdoor (preferred, if possible within site). Patient/Visitor Lounge must be accessible without visitors needing to enter the residential inpatient bedrooms area/s.
- Entry should also provide access to an accessible toilet able to be used by visitors.
- Entry may include a visitors property bay/lockable storage.

6.4 Clinical Areas

6.4.1 Residential Consumer Areas

Gawanggal is a 10-bed residential rehabilitation mental health inpatient unit. Service emphasis is rehabilitation and community engagement, and consumers will be encouraged to spend time in the unit outside of their bedrooms, engaged in community or activities on the unit.

6.4.2 Daily Therapeutic Spaces/Sensory Modulation and De-escalation

Therapeutic spaces will be integrated for ease of transition for consumers and staff, with the ability for staff to enable access control to ensure staff and consumer safety and security. Daily therapeutic spaces will include:

- Kitchen, Dining, Lounge and Laundry for residential and daily living activities.
- Multifunction Group Room, Activity/Therapy Room, Indoor Exercise Room all to facilitate small and large group and individual therapeutic programs and activities.
- Sensory modulation room will be utilised to assist consumers to use sensory modulation equipment to manage distress and agitation and promote recovery and rehabilitation.
- Open staff station should be located adjacent to the main kitchen/dining/lounge area (Pod C), with oversight to entry and linked to secure workspaces.

6.5 Clinical Support

Dual access in consult and interview rooms is required for staff egress.

6.6 Staff Work Areas and Amenities

Staff will have access to workspaces for the provision of note writing and as a touch down point when they are not actively with consumers. There will be spaces within the staff zone where handover can occur between shifts. There will be work spaces and amenities available to staff.



6.7 Outdoor Spaces

Outdoor space is an important element of clinical care delivery. Courtyards are to be considered as extensions of the therapeutic space and are required to provide clinical intervention and play a large part in the physical and mental health of the consumer. This can include active engagement like consumer gardening, meditation, yoga, BBQ, and/or sport.

6.8 Back of House

Food service provision is via primarily self-catered meals. A fully-equipped kitchen accessible to consumers is required, inclusive of food storage area for consumer self-serve foods (e.g. cereals, groceries). Occasionally, prepared meals will be required, in these cases, food services will be delivered by Dhulwa/Main Hospital if site selection allows.

7. Schedule of Accommodation

Area	Room	No.	Room M2	Total M2	Comments
Entry Area					
Entry	Airlock - Entry	1	10	10	Custodial door programming not required, but should function as an informal airlock (two sets of doors). Size can be reduced as medical beds not expected.
Entry	Waiting	1	10	10	Reduced size for bed count and advice from users that visitors to unit are minimal
Entry	Toilet - Accessible	1	6	6	BCA/DDA review required
Entry	Property Bay - Visitors	1	2	2	Optional
Entry	Lounge - Patient/Family/Carer	1	15	15	
Clinical Areas					
Pod A (2 beds)	1 Bedroom – Mental Health, Accessible	2	17	33	
Pod A (2 beds)	Ensuite - Mental Health - Accessible	2	7	14	
Pod A (2 beds)	Living/Dining	1	25	25	Includes kitchenette
Pod B (2 beds)	1 Bed Room - Mental Health	2	16	32	Increased area for larger than standard wardrobe, TVs and additional storage for longer stay consumers
Pod B (2 beds)	Ensuite - Mental Health	2	5	10	All private ensuites recommended in Rehabilitation Unit.
Pod B (2 beds)	Living/Dining	1	25	25	Includes kitchenette
Pod B (2 beds)	Courtyard - Outdoor Dining, Activities	1	40	40	Decreased size due to bed base (prorated). Shared with pod A and B



Pod C (6 beds)	1 Bed Room - Mental Health	6	16	96	Increased area for larger than standard wardrobe, TVs and additional storage for longer stay consumers
Pod C (6 beds)	Ensuite - Mental Health	6	5	30	All private ensuites recommended in Rehabilitation Unit.
Pod C (6 beds)	Lounge/Dining	1	60	60	Combination and split can change in future design as long as total of lounges + dining + multifunction = 100'
Pod C (6 beds)	Kitchen - Mental Health	1	16	16	Includes pantry (x2 domestic fridges) due to self-catering model
Pod C (6 beds)	Courtyard - Outdoor Dining, Activities	1	60	60	BBQ area (near ADL kitchen), tables and chairs, sink, exercise area and walking paths. Decreased size due to bed base (prorated)
Pod C (6 beds)	Sensory Modulation Room	1	12	12	Confirmed requirement by PUG (1 only)
Pod C (6 beds)	Toilet - Accessible	1	6	6	For consumer use, close to activity and outdoor areas. BCA review required.

Shared Support Areas (All pods)

Shared Support (all pods)	Staff/Consumer Interface	1	14	14	Base for staff/consumer engagement, open layout preferred. Accounts for up to 3 staff.
Shared Support (all pods)	Interview Room - Mental Health	1	14	14	1 interview/consult room per 5 beds
Shared Support (all pods)	Consult Room	1	14	14	1 interview/consult room per 5 beds
Shared Support (all pods)	Office - Single Person, 9m2	2	9	18	Unit manager and CNC
Shared Support (all pods)	Clean Utility/ Medication Room	1	16	16	Includes space for resuscitation trolley (1.5m2) and electronic medication requirements.
Shared Support (all pods)	Bay - Linen (clean)	1	2	2	
Shared Support (all pods)	Bay - Linen (dirty)	2	1	1	Recessed off corridor, for consumer access
Shared Support (all pods)	Bay - Meal Trolley	1	4	4	For occasional meal deliveries, TBC requirements following Back of House input and site selection
Shared Support (all pods)	Cleaner's Room	1	5	5	
Shared Support (all pods)	Dirty Utility, Sub	1	8	8	



Shared Support (all pods)	Disposal Room	1	8	8	
Shared Support (all pods)	Store - Equipment	1	12	12	Reduced for bed count
Shared Support (all pods)	Bay - Handwashing, Type B	3	1	3	1 per pod
Shared Support (all pods)	Bay - Telephone	1	1	1	Optional, recessed off corridor for consumer access
Shared Support (all pods)	Laundry - Mental Health	2	6	12	1 per 4-6 beds
Shared Support (all pods)	Multifunction Group Room	1	30	30	
Shared Support (all pods)	Activity / Therapy Room	1	20	20	PUG direction: group sizes approx 7 people. Consider locating with pod C living/dining for greater options
Shared Support (all pods)	Indoor Exercise Room	1	22	22	Gym equipment. PUG: include, especially if not on Dhulwa site
Shared Support (all pods)	Store - Patient Property	1	8	8	Decreased due to bedbase

Staff Work Areas and Amenities

Staff Zone	Office - Shared, 12m2	2	12	24	Medical, and other as needed e.g. CNC/CNE
Staff Zone	Office - Workstation	13	4	57.2	Assumes all FTE Gawanggal + 40% of shared roles. Applied 80% occupation rate for total FTE.
Staff Zone	Staff Room	1	20	20	
Staff Zone	Meeting room	1	20	20	For 10-15 people, located with access for consumers also for handover/MDT
Staff Zone	Property Bay - Staff	2	3	6	
Staff Zone	Toilet - Staff	1	3	3	BCA/DDA review required
Staff Zone	Shower - Staff - combined shower toilet	1	4	4	BCA/DDA review required
Staff Zone	Toilet-Staff, Accessible	1	6	6	BCA/DDA review required
Staff Zone	Courtyard - Staff	1	20	20	
Back of House	Allowance	1	100	100	Allowance, TBC site and models.



Appendix 1 – Staff Consulted

Name	Position	Organisation
Gillian Sharp	Operational Director Forensic Mental Health	ACT Health
Ahmed Mashhood	Clinical Director Forensic Mental Health	ACT Health
Peta Kleinig	ADON Secure Mental Health Units	ACT Health
Justeen Stapleton	Senior Director; Northside Hospital Project	ACT Health (Strategic Infrastructure Branch)
Rebecca Sweetman	Director of Facility and Planning; Northside Hospital Project	ACT Health (Strategic Infrastructure Branch)
Robert Vidaic	Project and Administration Support Officer; Northside Hospital Transition	ACT Health (Strategic Infrastructure Branch)

Appendix 2 – Outstanding Issues

Progress to the next stage of planning will require resolution of issues that may not have finalised during the Functional Briefing consultation process. These issues are documented below.

Issue	Action required
Back of House requirements are site dependent and currently unconfirmed.	Project Team and Project User Group to confirm back of house with wider hospital providers when there is greater site certainty e.g. access, vehicle drop-off requirements.
Access to Dhulwa Secure Mental Health Unit for operational procedures.	Project User Group to confirm operational requirements if site is located with Dhulwa. Project team to consult with back of house services (e.g. security, duress response, food services, cleaning, waste management) if site is not located with Dhulwa or Main Hospital.
Wet room function unclear	Project User Group to confirm. User request for a wet room was raised during functional briefing. Further definition of wet room required. SOA assumes this was referring to the ability to make tea and coffee etc – a staff room has been included in SOA.
Brief and SOA are pending advice re overall compliance	Project Team to support BCA/accessibility/fire/etc reviews, noting number of toilets and type of toilets may change based on advice.
Potential changes to SOA based on site / refurb constraints.	Project Team to review and adjust SOA with stakeholder input as required when there is greater site certainty.
Limited representation for user group consultation due to program and scheduling	Project Team to review future consultation PUG members in next stage of project. Current users have been advised that their role is to represent their wider service.



Northside Hospital Campus - Enabling works Workstream 2 - Secure Mental Health Unit Feasibility

Version C - 04 March 2024



We acknowledge that the Bruce Northside Hospital Campus is on Ngunnawal land.

We pay our respects to your Country, ancestors and the community that maintains culture from the past, in the present and into the future.

We recognise that the success of this project requires us listening to the Traditional Owners of the land and other Aboriginal and Torres Strait Islander People, working with you, and walking beside you on this journey.

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- 02 Schedule of accommodation
- 03 Site analysis & Test fits
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DATE	REVISION
06 FEB 2024	DRAFT FOR INFORMATION VERSION A
09 FEB 2024	DRAFT FOR EXTERNAL ISSUE VERSION B
04 MAR 2024	DRAFT FOR EXTERNAL ISSUE VERSION C

Executive summary

Introduction

The ACT Government has committed to the delivery of a new North Canberra Hospital (NCH) to replace the ageing facilities currently located on the Bruce site and better serve the needs of north Canberra's growing population. To facilitate construction of the proposed acute services building and standalone mental health facility, the Technical Advisor team identified the need to relocate the Gawanggal secure residential mental health unit from its current location on the northern side of the hospital site. Following ACT Health consultation, several potential sites were nominated for study.

Starting with an overview of the NCH masterplan and concept design development as context for the relocation, this report summarises the findings of the feasibility study undertaken on the potential sites for ACT Health's consideration. Following confirmation of the preferred option, the Technical Advisor will develop a high-level concept design and cost plan to inform preparation of a Business Case (by others).

Scope

Canberra Health Services (CHS) currently operates Gawanggal as a lower security step-down community reintegration facility for people transitioning from the Dhulwa medium-security mental health facility. Following ACT Health's direction to investigate the feasibility of permanently relocating the facility to make way for the new NCH, the Technical Advisor developed a Schedule of Accommodation (SoA) in consultation with the operators and with reference to the Australasian Health Facility Guidelines (AusHFGs). A footprint of approximately 1,600 m² was determined for the 10-bed new facility.

Sites

In consultation with other ACT Government directorates, ACT Health identified three potential sites throughout the feasibility stage that could be used for the relocation of Gawanggal. For various reasons outside the scope of the feasibility study, two of these sites were later removed from consideration and one clear site (Site 2) emerged as the preferred. However, this report reflects the feasibility undertaken on each site by the Technical Advisor prior to ceasing review for record.

Site 1 - northern block, Mary Potter Circuit, Bruce

The Technical Advisor was initially directed to investigate whether Gawanggal could be relocated further to the west from its current location on the northern block of the NCH site. During the Northside Hospital Technical Advisor project, a standalone mental health facility (including acute adult and older person's mental health inpatient units), adjacent the new acute services building was proposed for this northern block. Based on the work previously undertaken, including the SoA prepared at the time, the Technical Advisor identified how the previous concept design could potentially be adjusted to accommodate Gawanggal alongside the other mental health units.

Per the previous design stage, key constraints to any new development on the northern block include:

- Health planning: the main works SoA outlining the number of beds and types of services required is subject to change following finalisation of the Northside Clinical Services Plan. This may affect the feasibility of retaining Gawanggal on the NCH site.
- Bushfire protection requirements: substantial Asset Protection Zones (APZs) apply to the northern block due to the surrounding vegetation and topography. Consultation is ongoing within the ACT Government to agree the planning and environmental conditions under which development could proceed. This may affect the feasibility of any new development on the northern block.

Site 1 is no longer being considered for Gawanggal as part of this Northside Hospital Enabling Works project. The Technical Advisor understands that following the change in operator of the NCH, the masterplan for the full site will be revisited as part of the main works reference design stage (by others).

Site 2 - Blocks 15, 16 and 17, Section 49, Symonston

The Technical Advisor was subsequently directed to review the feasibility of relocating Gawanggal to Block 15, Section 49, Symonston in south-eastern Canberra. This is a site currently operated by the Justice and Community Services (JACS) Directorate, adjacent to the Dhulwa medium-security mental health facility (Block 16) and Mount Mugga Mugga Nature Reserve (Block 17). For the purposes of this feasibility study, the full study area extended from the JACS site to include Dhulwa and the surrounding areas of the nature reserve.

Site 2 is located approximately 3 km east of Canberra Hospital, Woden and is accessible via the major arterial, Hindmarsh Drive. Due to its location on the foot slopes of Mount Mugga Mugga, the site slopes from around 640 m AHD at the western boundary of Dhulwa down to around 624 m where the JACS site fronts Mugga Lane. The variations in topography and resulting earthworks are a significant driver in the cost differentials between the test fit options. Some potential for contamination due to previous developments across the site and historic agricultural usage was identified in the contamination desktop study. The geotechnical desktop study also noted that shallow bedrock is likely, which could increase earthworks costs.



SITE 2 TEST FIT OPTIONS

Executive summary

The Technical Advisor developed four separate test fit options to guide discussion on how Gawanggal could be provided on the site. The options are as follows:

- Option 2A - this test fit responds to the initial brief to investigate Block 15 as the primary site. By locating Option 2A to the north of the JACS block, the Technical Advisor sought to reuse the existing site access and retain the buildings to the south of the block. A large building that we understand is currently used for emergency services training would need to be removed. The Technical Advisor is not aware of JACS' plans for the site and an agreement would need to be reached between JACS and ACT Health.
- Option 2B - this test fit provides an option that retains the existing JACS site by placing Gawanggal to the north, within the reserve. This establishes Gawanggal near Dhulwa while retaining its own identity as a separate facility. Based on the planning report, Option 2B would be located within the Designated Area and so would require works approval from the National Capital Authority.
- Option 2C - this test fit co-locates Gawanggal with Dhulwa, placing the new facility on the site of the existing carpark and allowing for the re-use of the entry road from Mugga Lane. Fewer earthworks are likely required for this test fit location due to previous site levelling, however the impacted carpark spaces will need to be relocated. Subject to agreement with EPSDD, the Dhulwa carpark could be relocated to the west of its current location, noting the design would need to consider accessibility requirements due to changing grade.
- Option 2D - this test fit places Gawanggal adjacent Dhulwa to the west, within the nature reserve. Due to an 8 m slope from the rear of the test fit down to the existing carpark, this option will likely require significant earthworks, including to extend the access road up to the facility. However, Option 2D allows for future expansion, compared to Option 2C which is constrained by the existing site infrastructure and detention basin.

Site 2 is situated fully within bushfire prone area. No bushfire advice has been sought as part of this desktop study; however the Technical Advisor anticipates that APZ requirements are likely to constrain Option 2B and Option 2D more than Option 2A and Option 2C, which are situated within existing developments. In addition, ACTmap mapping shows that all three blocks are identified as having potential threatened woodland, and Block 17 has potential for rare invertebrates. The Technical Advisor recommends that further bushfire, ecological and arboriculture advice be sought to understand the bushfire and ecological constraints that will apply across Site 2.

Site 3 - Block 12, Section 102, Symonston

A third site considered as part of the feasibility review was Block 12, Section 102 in Symonston, a 6.3 ha greenfield site approximately 1 km southeast of Dhulwa which is accessed from Narrabundah Lane. Due to the size of the site and gentle topography, the test fit option situated Gawanggal towards the eastern side to allow for further site development in future, if required. A key constraint identified is that ACTmap mapping showed potential rare plants, native grassland, and potential threatened woodland across the site. Further assessment by an ecologist would be required to validate the mapping and identify areas of highest constraint.

Site 3 is no longer being considered for Gawanggal as part of this Northside Hospital Enabling Works project. The Technical Advisor understands that a key reason for this decision is that co-location with Dhulwa is preferred.

Recommendation

Of the four test fit options prepared for Site 2, the Technical Advisor recommends Option 2C be considered further for the following reasons:

- Co-location with Dhulwa allows for clinical efficiencies and support
- Test fit location is within land already managed by Canberra Health Services
- Fewer earthworks likely required due to previous site levelling

The key constraints include the lack of space for future expansion (if required) and the need to relocate the parking spaces that would be impacted. If these spaces are relocated upslope to the west, there will still be a need to alter the site boundaries and carry out earthworks, with the potential for ecological and arboricultural impacts.

Introduction

01

Background

Canberra Northside Hospital - Proposed zonal masterplan

In 2022 a zonal Master Plan was completed for the North Canberra Hospital Campus at Bruce. This Master Plan defines a high-level precinct strategy for the campus.

This Master Plan looks at the most appropriate locations within the current campus for a new acute services building to be completed as stage 1.

Subsequently, a strategy for staging and decanting from old to new was established to achieve the final Master Plan.

Core clinical services and other related functions described within the SOA are located within the new Northside Hospital Concept Design development area, running parallel to Haydon Drive.

Current Calvary Bruce Private Hospital facilities are retained. The existing on-grade car park between the main Private Hospital building and the multi-deck car park has been identified as a potential private expansion site.

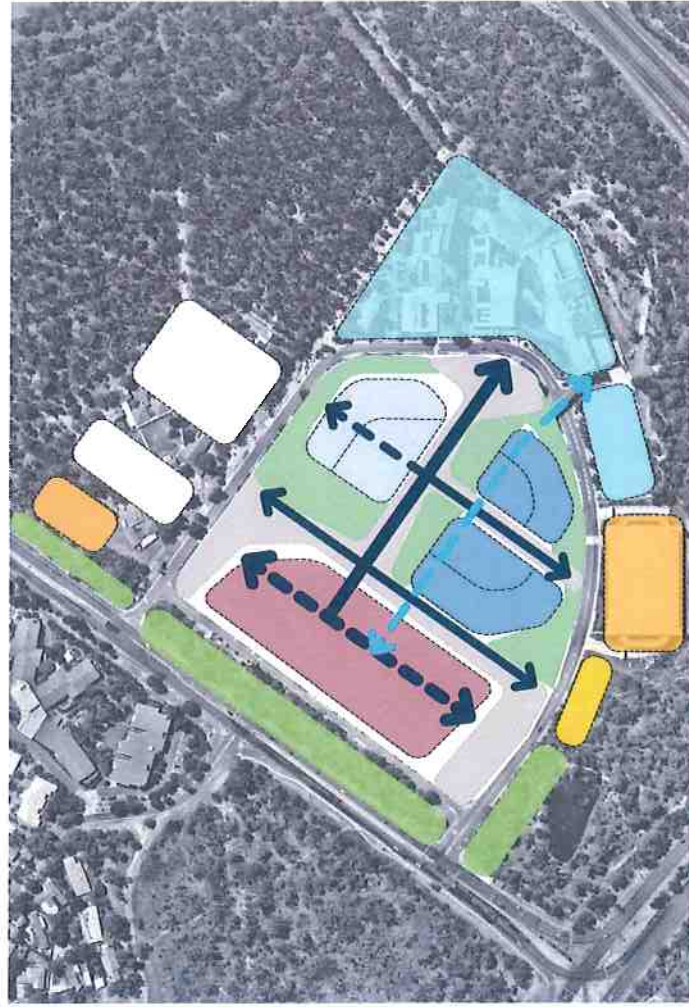
The remaining campus between the Public and Private zones is bisected by the east/west Green Spine. The northern area has been identified as a staff support zone, housing accommodation for key workers and families, end of trip facilities, and any other identified requirements.

The Master Plan identifies the area to the south of the Green Spine as an opportunity for a shared innovation precinct with an emphasis on research, industry and education. The extent and nature of these facilities will vary depending on whether the Xavier and Marian buildings are retained in the short or long term, or demolished. Further investigation of the existing structures is required, however it is assumed floor-to-floor heights and structural limitations may limit their use for laboratory-based research.

Land to the north of the ring road (currently the Brian Hennessy Rehabilitation Centre) is shown as 'other', subject to further feasibility.

Childcare is located to the south of the ring road, in land currently not occupied.

Parking is located to the north in support of the dispersed strategy, to minimise walking distances.



ZONAL MASTER PLAN - JULY 2022

- PEDESTRIAN CONNECTOR (EXTERNAL)
- PEDESTRIAN CONNECTOR (INTERNAL)
- PRIVATE HOSPITAL CONNECTION
- CORE CLINICAL FUNCTIONS
- INNOVATION PRECINCT: RESEARCH, INDUSTRY, EDUCATION
- STAFF SUPPORT
- PRIVATE HOSPITAL
- PARKING
- CHILDCARE
- OTHER

Background

Canberra Northside Hospital - Proposed concept design

Discussions with health professionals revealed a 'stacked' approach to mental health was not preferable, thus a stand alone facility was developed. This option removed mental health services from the complete hospital and relocated them to the northern site.

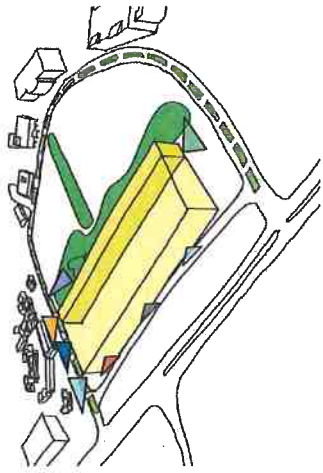
This concept option proposes to provide all the required services in two buildings on the site of the existing North Canberra Hospital: one main hospital building within Mary Potter Circuit and a satellite mental health facility to the north on the northern block.

This concept option was developed following preliminary clinical feedback on the original design, which advised that recovery of mental health patients would be better supported by providing a more 'human-scale' development. An initial feasibility study was undertaken, culminating in a presentation to ACT Health on 2 November 2022.

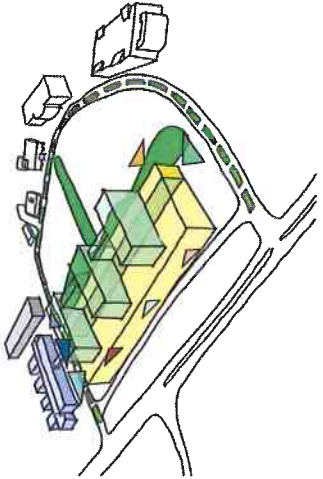
Main building

- The podium of the main hospital building features:
- Emergency and ambulatory care entries to the north, and main entry to the south.
 - Collocation of the emergency and imaging departments.
 - Lower ground plant, with space available for basement car parking.
 - Logistics vehicle access via Sylvia Curley Drive.

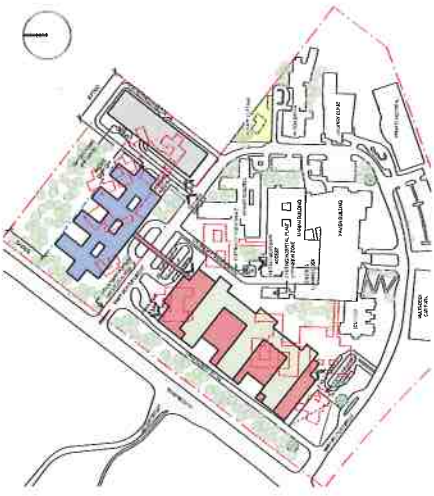
A three-finger inpatient unit stack above the podium is proposed.



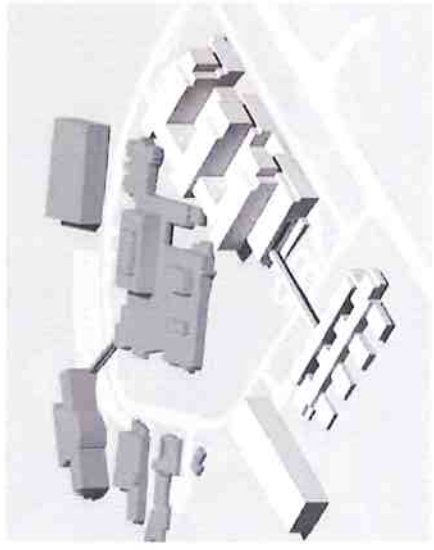
PODIUM CONFIGURATION



IPU CONFIGURATION



SITE PLAN



SITE MASSING

Mental health building

This concept option locates the 91 bed adult acute and older person's mental health inpatient unit in a standalone building on the northern block. The concept design proposes to provide the acute mental health beds on the ground floor and OPWHLU beds on the first floor, with access to outdoor courtyards and direct link bridge across Mary Potter Circuit to Level 02 of the main hospital building.

The site topography allows for the administration spaces to be provided on a lower level and plant on the top floor, while the central logistics departments (e.g., kitchens, linen, etc.) within the main hospital building would service the satellite building via a basement logistics tunnel.

Opportunities to stage delivery of the mental health building were also explored during the concept design stage.

Major constraints and issues

Two of the key constraints associated with this concept option are:

- *Health planning:* The Schedule of Accommodation that outlines the number of beds and types of services to be provided will need to be revised to reflect the Northside Clinical Services Plan at the next stage of design.
- *Bushfire protection:* Due to the nature of the development, the surrounding vegetation and topography, the bushfire advice received was that a 79 m Asset Protection Zone (APZ) would need to be applied from the north-eastern boundary and a 67 m APZ from the south-eastern boundary. The available space remaining on the northern block is insufficient to allow for the development of a 'human-scale' mental health facility. Instead, this concept option proposed that a relaxed APZ of 50 m from the north-eastern boundary be negotiated with the relevant stakeholders, with such a compromise likely requiring compliance with more rigorous bushfire design standards (e.g., material selection). Construction on the northern block, including clearing of vegetation to maintain the APZ, will also impact undeveloped land mapped as high ecological constraint. Consultation regarding the APZs is ongoing in February 2024 and remains a critical risk to the viability of the option.

Proposed Mental Health Site

Current Facilities

Current mental health provisions

Mental health on the current North Canberra Hospital site is located within the Keaney Building on the main hospital campus and within Gawanggul and Arcadia House on an independent site to the north of Mary Potter Circuit.

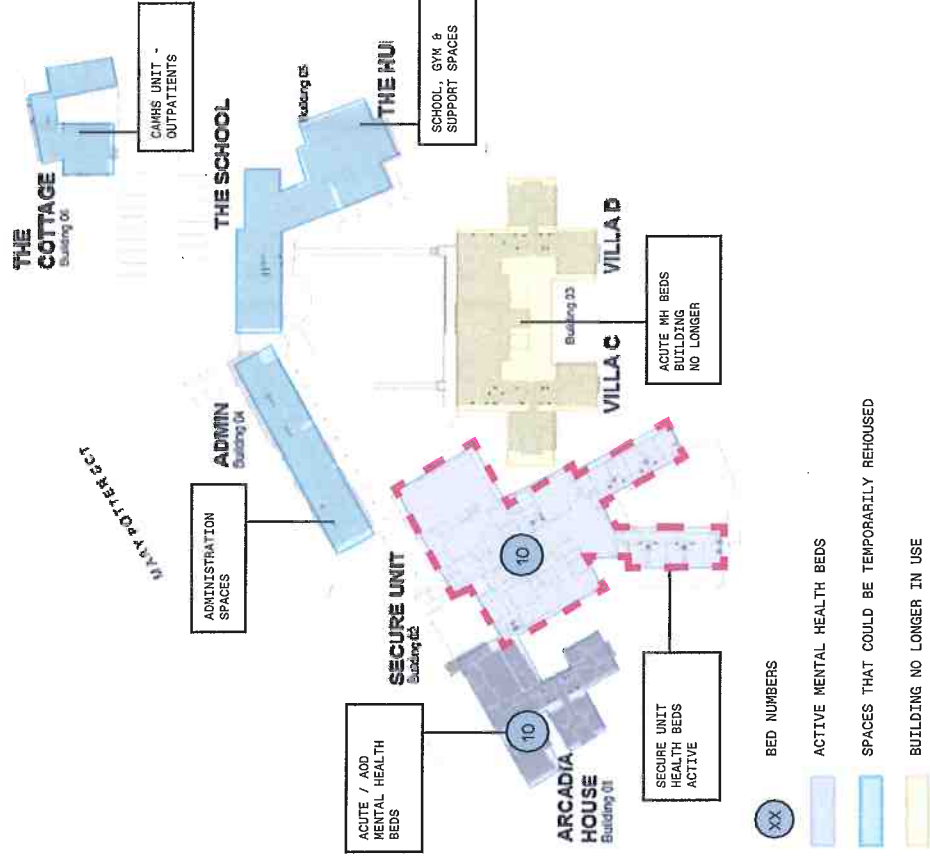
Mental health northern site

A study of the existing facilities on the northern mental health site has been undertaken. The key services currently operating from this site are the Child and Adolescent Mental Health Services (CAMHS) unit and the acute mental health service in Arcadia House and Gawanggul.



CURRENT MENTAL HEALTH PROVISIONS

MENTAL HEALTH NORTHERN SITE



- 1 KEANEY BUILDING - OPMH SINGLE STORY - 2476W2
- 2 MENTAL HEALTH NORTHERN SITE
- SITE EXTENT

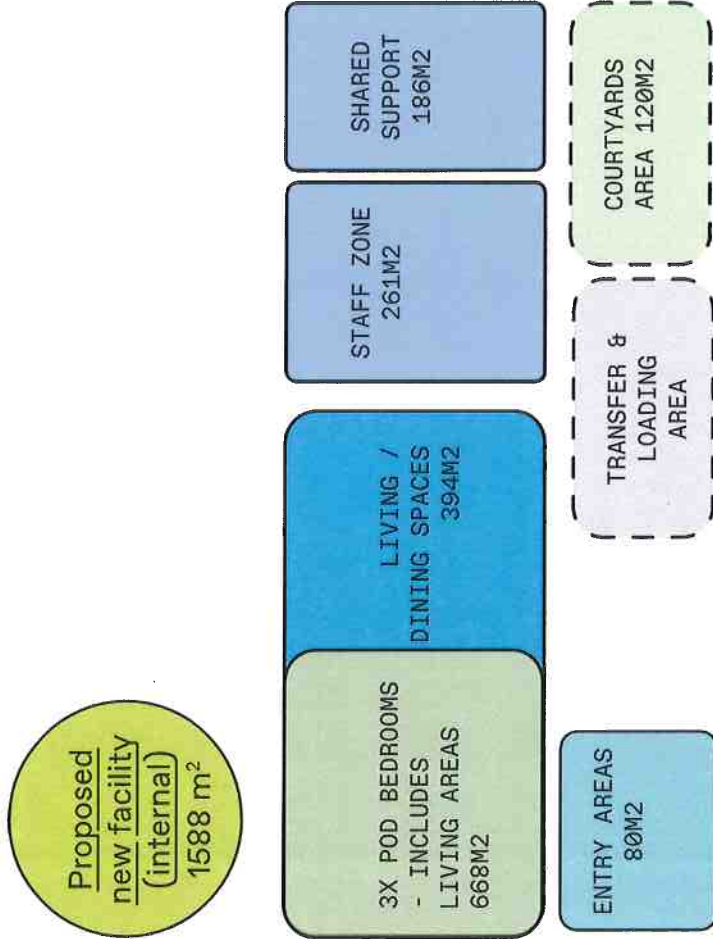
Schedule of accommodation

02

Schedule of accommodation

INFORMATION FROM JOHNSTAFF

A schedule of accommodation (SOA) has been established by Johnstaff. This has been developed in consultation with ACT health and a nominated aproject user group. It has been based on the requirements of a 10 bed Secure unit. The most recent issue is dated 05/02/2024.



AREA : SUB TOTAL	854
Circulation	0
GDA (Rooms + Circ)	1128
Engineering	0
GDA (GDA + Engineering)	1444
Planning Contingency	0
AREA : TOTAL	1588

OUTDOOR AREAS	
Courtyard	
Courtyard - Outdoor Dining, Activities	1
Courtyard - Outdoor Dining, Activities	1
Courtyard - Staff	1
AREA - OUTDOOR : SUB TOTAL	120
AREA : TOTAL	1708

SPACE	QTY	AREA	TOTAL AREA
SECURE MENTAL HEALTH - GAWANGEGAL			
Entry			
Airlock - Entry	1	10	10
Waiting	1	10	10
Toilet - Accessible	1	6	6
Property Bay - Visitors	1	2	2
Lounge - Patient/Family/Carer	1	15	15
Pod A (2 beds)			
1 Bedroom - Mental Health, Accessible	2	17	33
Ensuite - Mental Health - Accessible	2	7	14
Living/Dining	1	25	25
Pod B (2 beds)			
1 Bed Room - Mental Health	2	15	32
Ensuite - Mental Health	2	5	10
Living/Dining	1	25	25
Pod C (6 beds)			
1 Bed Room - Mental Health	6	16	96
Ensuite - Mental Health	6	5	30
Lounge/Dining	1	60	60
Kitchen - Mental Health	1	16	16
Sensory Modulation Room	1	12	12
Toilet - Accessible	1	6	6
Shared Support (all pods)			
Staff/Consumer Interface	1	14	14
Interview Room - Mental Health	1	14	14
Consult Room	1	14	14
Office - Single Person, 9m2	2	9	18
Clean Utility/ Medication Room	1	16	16
Bay - Linen (clean)	1	2	2
Bay - Linen (dirty)	2	1	1
Bay - Meal Trolley	1	4	4
Cleaner's Room	1	5	5
Dirty Utility, Sub	1	8	8
Disposal Room	1	8	8
Store - Equipment	1	12	12
Bay - Handwashing, Type B	3	1	3
Bay - Telephone	1	1	1
Laundry - Mental Health	2	6	12
Multifunction Group Room	1	30	30
Activity /Therapy Room	1	20	20
Indoor Exercise Room	1	22	22
Store - Patient Property	1	8	8
Staff Zone			
Office - Shared, 12m2	2	12	24
Office - Workstation	13	4	57
Staff Room	1	20	20
Meeting room	1	20	20
Property Bay - Staff	2	3	6
Toilet - Staff	1	3	3
Shower - Staff - combined shower toilet	1	4	4
Toilet-Staff Accessible	1	6	6
Back of House			
Allowance - External Loading Area	1	1	100

Test fit layout

INTERNAL AREA = 1588M2
EXTERNAL AREA = 120M2

A preliminary non-block specific general test fit has been undertaken with the SoA areas taking into account the following principles;

- Separate access to be available for public/ visitors, staff entry/ logistics, and a more secure and discreet access for potentially agitated patients.
- Entry zone area allocated for waiting, visitor lounge with associated drop off.
- Centrally located Staff zone and support area with access and observation over all pods.
- Separation of bedroom pods with associated living areas to allow for varying patient cohorts.
- Shared areas for all pods located to optimise staff sight lines across to bedroom zones.
- External courtyard zones adjacent living / dining spaces.
- Access to courtyard area for staff.

This test fit diagram has been used as the basis for locating the footprint area for Site 2, options A-D and Site 3.

As Site 1 is located within the proposed mental health building, slight variation to this layout has been established, however the principles listed above remain consistent.

- LOUNGE + DAILY THERAPEUTIC SPACE

●

 BEDROOMS

●

 SECURE ENTRY, TRANSFER + LOADING

●

 STAFF AREAS

●

 COURTYARDS

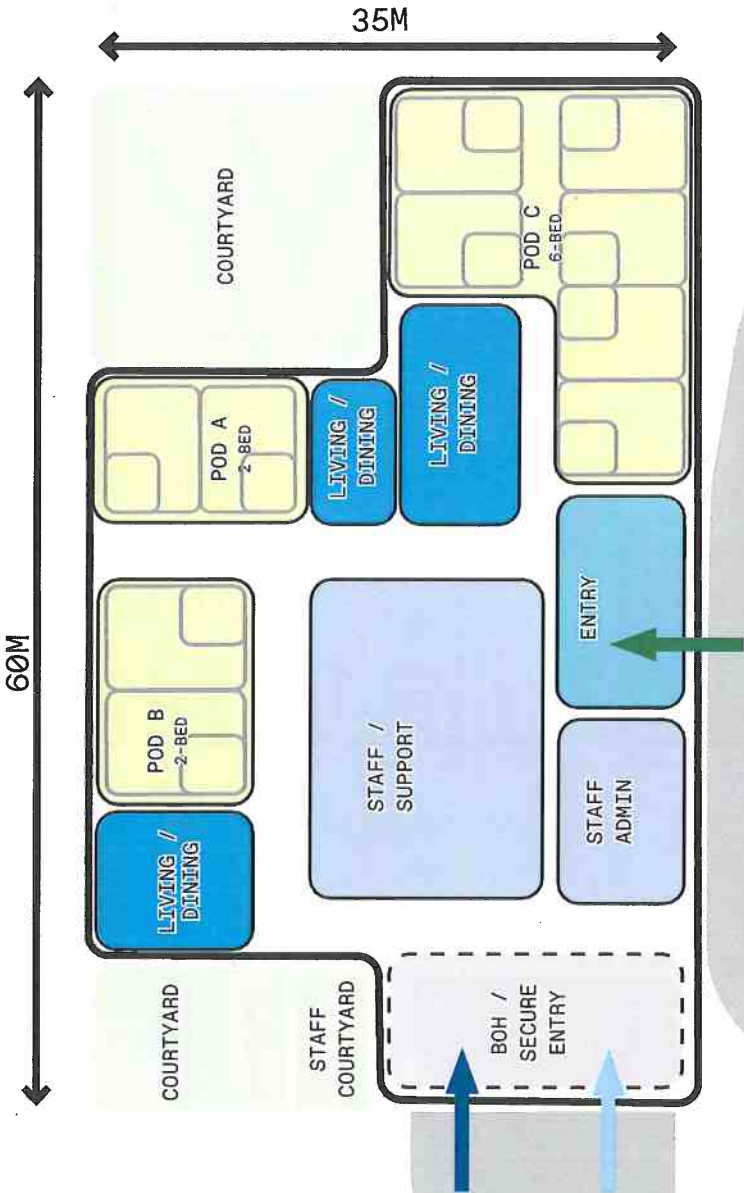
●

 ENTRY
- ➡

 PUBLIC ENTRY INTO SECURE UNIT
- ➡

 SECURE ENTRY
- ➡

 LOGISTICS ENTRY



Site analysis & Test fits

03

Context

Connection to country

EXTRACT ACT GOVERNMENT - WWW.ACT.GOV.AU

Both of the proposed sites are located on Ngunnawal country, although it also holds significance to the Ngambri people.

People normally moved in small family groups but there were, on occasion, big gatherings of a thousand or more people at a time, coming together to make use of resources which were seasonally abundant (most famously the Bogong moth and the Yam Daisies). Important ceremonies were held, art was painted in rock shelters, marriages were arranged, goods were traded, important news was shared and old friends met again.

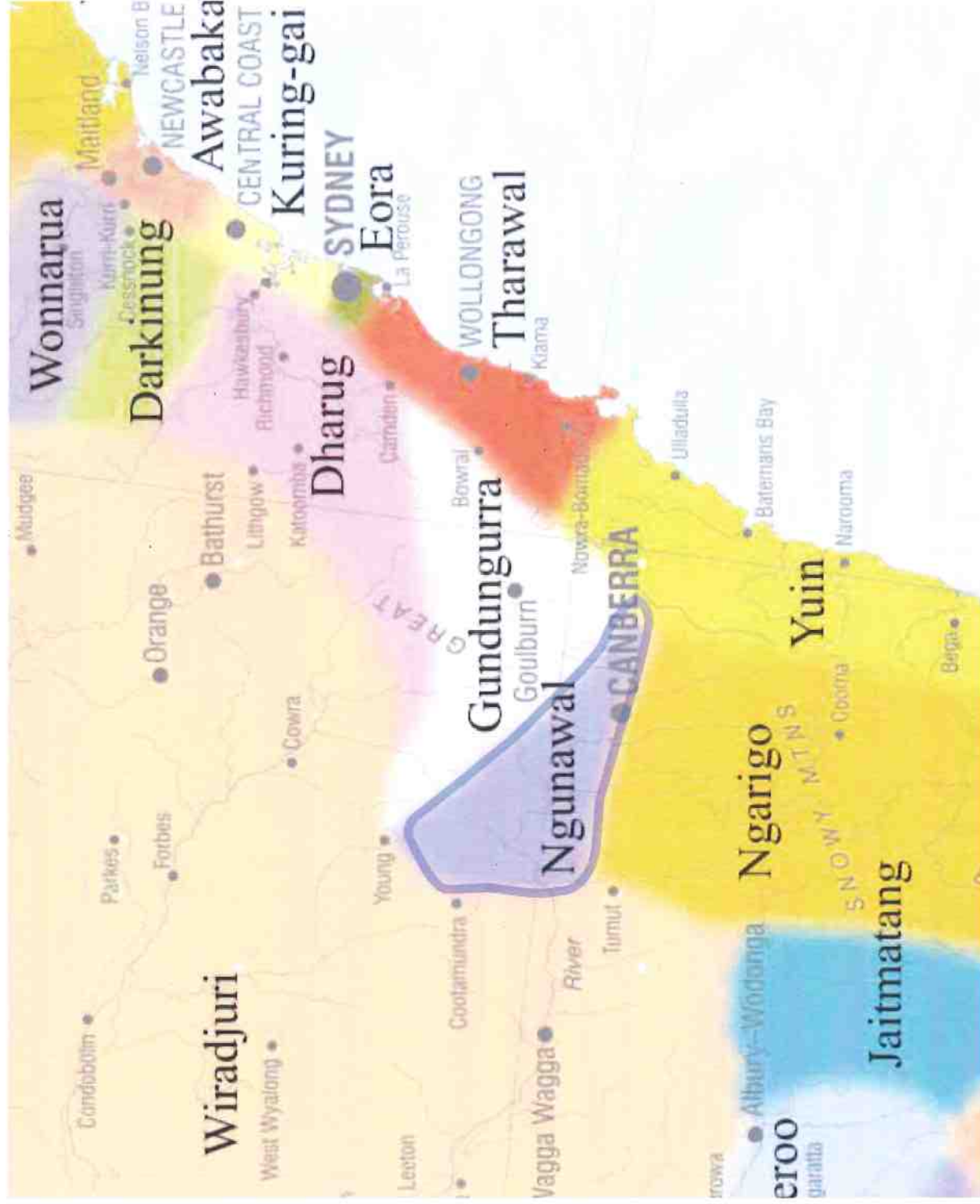
In summer, people visited the high country where the Bogong moth, in millions or billions, could be found hiding in rocky crevices to survive the warmer weather. The moths were rich in stored fats and oils and were enthusiastically eaten (some say the taste resembles peanut butter). The moths were shaken and teased out from under rocky overhangs into nets and then roasted on a fire. Some were smoked and stored as cakes for use in more difficult times. At other times, the lowland resources of plants, like Yam Daisies, and the freshwater resources of creeks and lakes could be harvested. In the harshness of winter, fur cloaks were worn for warmth and people would gravitate to the coast to share resources with the others there. Others moved further inland.

Indigenous people have been living here for at least 20 000 years, perhaps from the time when the extreme cold of the last Ice Age eased. The hunter-gatherer lifestyle continued to be practiced into the early nineteenth century, until the arrival of Europeans with their sheep flocks and cattle herds. The arrival of introduced diseases, like smallpox and measles, quickly affected Aboriginal numbers.

Introduced animals with hard hooves and big appetites rapidly reduced the abundance of plants like Yam Daisies, damaged water holes and creeks, and the essential food resources there. Graziers may also have restricted Aboriginal movement, and movement was essential in this region. Despite this, thousands of people continued to gather in the Snowy Mountains in Bogong season and, in 1826, some 1000 people gathered at Lake George to protest the behavior of shepherds.

Aboriginal people adapted to the arrival of Europeans by taking jobs as stock men, and proved their knowledge and skill could be applied to introduced stock. However, government policies and the pressures of this new occupation created severe social pressures on the Ngunnawal community and neighboring Indigenous peoples.

The Ngunnawal people have always remained in the area, and in recent years they have become more visible in the general community, and increasingly involved in affairs at the local and national level.



Context

Designing with country

Canberra is situated on Ngunnawal country, although it also holds significance to the Ngambri people.

Within Canberra there are numerous sites of Aboriginal significance. The most proximal is Black Mountain, a site of meeting place, business place and teaching.

To gain a more thorough understanding of Country on this site, the design response needs to be explored with the Ngunnawal and Ngambri communities. This will ensure a considered and appropriate response.



ESTABLISH SITES OF SIGNIFICANCE & IDENTIFY THEIR RELATIONSHIP TO THE CANBERRA NORTHSIDE HOSPITAL SITE

- 1 BLACK MOUNTAIN - MEETING PLACE, BUSINESS PLACE + TEACHING
- 2 AINSLIE - CORROBOREE GROUND
- 3 MOUNT STROMLO - ARCHAEOLOGICAL EVIDENCE OF CELESTIAL CALENDARS MADE FROM ROCKS
- 4 ACTON PENINSULA - FORMER CEREMONIAL GROUND
- 5 MUGGA MUGGA MOUNTAIN - ARTIFACT SCATTERS / HERITAGE LISTED
- 6 LAKE GINNINDERRA - CAMPING, ARTIFACT SCATTERS
- 7 MOUNT AINSLIE - WOMENS MOUNTAIN, TEACHING
- 8 MOUNT MAJURA - ARTIFACT SCATTERS
- 9 YEALAMBIGEE (MONOGOLO RIVER) - ASSOCIATED WITH THE SPIRIT SNAKE 'GUDDY'
- 10 JEDBINBILLA MOUNTAIN (TIDBINBILLA) - MENS MOUNTAIN, INITIATION. INCLUDES BIRRIGAI ROCK AND HANGING ROCK - SHELTERS + ROCK PAINTING



VIEW TO BLACK MOUNTAIN



'PLACES FOR GATHERING



Proposed siting options

A desktop investigation has occur for three possible sites for the secure mental health unit. Sites 1 and 3 have been subsequently discounted, thus this report focuses on the opportunities in Site 2.

SITE 1 Mental Health site - Canberra Northside Hospital Campus, Mary Potter Circuit, Bruce

- o Block area 32,196m2
- o Land Use Zone: CF: Community Facilities
- o Territory Plan: Overlay zone
- o Current site use: ACT Health - Mental Health Facilities
- o Site Adjacencies: Bush land, Canberra Northside Hospital



SITE 2 Dhulwa Mugga Lane, Symonston

- o Block area 12,575m2
- o Land Use Zone: NUZ1:Broadacre
- o Territory Plan: Overlay zone
- o Current site use: Training centre for the Symonston Correctional Centre
- o Site Adjacencies: Farm lands / bush lands, Dhulwa Mental Health Unit



SITE 3 Block 12, Section 1-02, Narrabundah Lane, Symonston

- o Block area 63,000m2
- o Land Use Zone: NUZ1:Broadacre Territory Plan: Overlay zone
- o Current site use: NIL
- o Site Adjacencies: Farm lands / bush lands



PROPOSED SITE
PROPOSED SITE BOUNDARY EXPANSION

Site 1

**Mental Health site - Canberra Northside Hospital Campus
Mary Potter Circuit, Bruce**



Site 1

Background

SITE 1

Mental Health site - Canberra Northside Hospital Campus, Mary Potter Circuit, Bruce

- o Block area 32, 196m²
- o Land Use Zone: CF: Community Facilities
- o Territory Plan: Overlay zone
- o Current site use: ACT Health - Mental Health Facilities Site
- o Adjacencies: Bush land, Canberra Northside Hospital

Site 1 is located at Mary Potter Circuit, Bruce, adjacent the Canberra Northside Hospital Campus.

This site was explored during Concept design for the Canberra Northside Hospital.

The site currently contains;

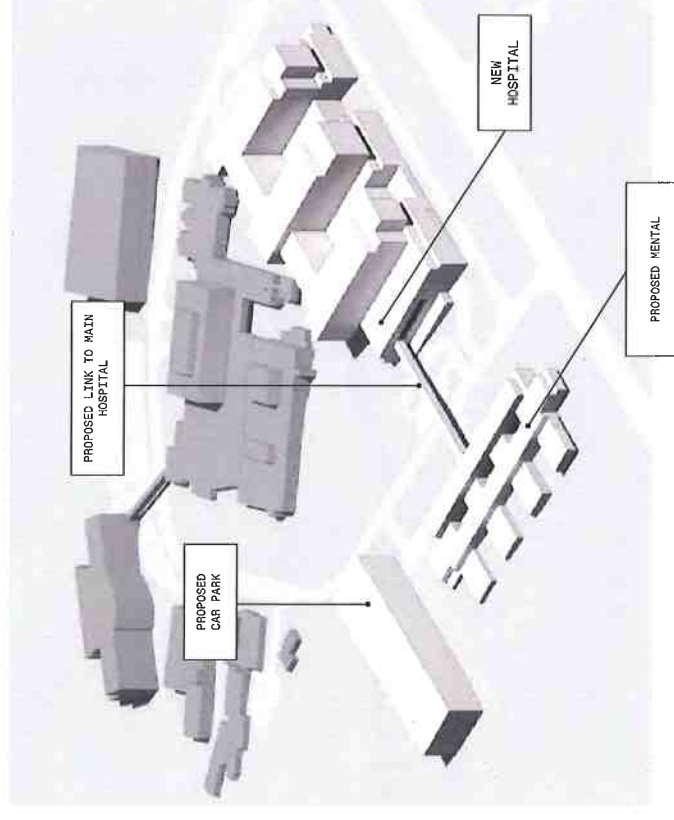
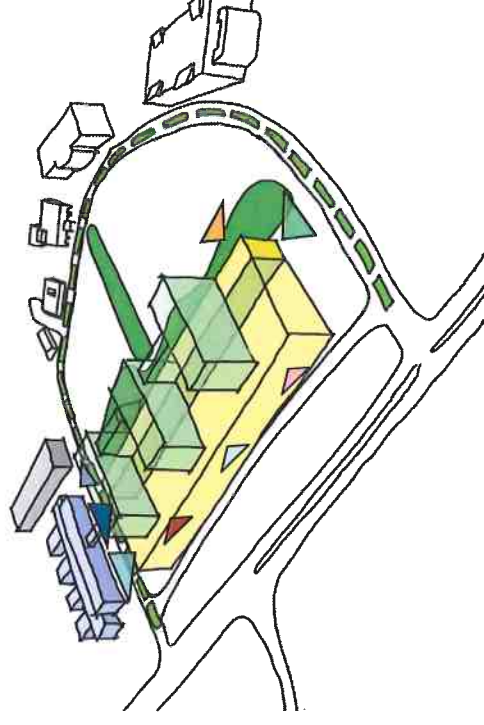
- o Acute Mental Health
- o Secure Unit
- o Alcohol and other drugs
- o Child and adolescent Mental Health
- o Mental Health Administration

Concept design nominated this site to be developed for hospital associated Mental Health services including;

- o Acute Mental Health
- o Older Person's Mental Health
- o High Dependency Mental Health
- o Mental Health Ambulatory care

The selected mental health option has the following considerations;

- Stand alone mental health building positioned to the south eastern area of the northern block site.
- Multi-deck car park located to the north west within the APZ
- Multi storey mental health building
- Allows for existing utilised beds to be retained and removed once new building is finished.
- Enables a staged approach.
- Relies on a relaxation of the APZ requirements to the northern portion of the site.



Site 1

Background

The key risk with Site 1 is the required site APZs, Bushfire advice was obtained for this site. There is currently an Asset protection zone (APZ) over a significant portion of the site. The layout of the current building are reflective of this.

New legislation on bush fire management has produced more onerous APZ requirements the need to be applied to this site. Once applied, the residual site area is insufficient to fit the required mental health services.

Two strategies to overcome this have been proposed and a preferred option selected.

1 Current site APZ requirements

Recent advice from ACTF&R is that sensitive-use development within ACT are to be assessed against the Bushfire Protection Measures (BPM) required for Special Fire Protection Purpose (SFP) development in accordance with the NSW Rural Fire Service (RFS) document, Planning for Bush Fire Protection 2019 (PBP).

Potential APZ requirements:

APZ dimensions are as per below and indicatively shown on the figure below:

- North-eastern boundary: 79 m
- South-eastern boundary: 67 m

Strategy 3- There is a possibility these setbacks could be relaxed if certain outlined criteria is met such as fire modelling, canopy clearing, evacuation plans, building materiality and construction types.

Strategy 4 - In other areas of the site, the bushland of the neighbouring site has been cleared to provide the required clearance from the building without reducing the site area. This should be investigated as a possibility for the northern block site.

The preferred approach at the time of the concept design was Option 3. However, bushfire requirements remain a key risk to the viability and potential of this site and are the subject of ongoing consultation.

CURRENT SITE APZ REQUIREMENTS



Option 1

APZ AS PER RECENT FIRE ADVICE



Option 2

APZ PROPOSED STRATEGY 1 - SELECTED



Option 3

APZ PROPOSED STRATEGY 2



Option 4

Site 1

Background

A summary of proposed mental health facilities established during Concept design is as follows:

Bush fire

The selected strategy for compliance with the nominated Asset Protection Zone (APZ) is the exploration of a relaxed setback to the north. Advice received from Plant notes that should certain criteria be met i.e. fire modelling, canopy clearing, evacuation plans, building materiality and construction types, a less onerous APZ could be considered. This is currently the subject of ongoing and separate consultation with the Emergency Services Agency and other key stakeholders.

In this option, the APZ to the east is achieved due to the positioning of the multi-deck car park within this zone. The regulations stipulate it is permissible for car parking structures to reside within the APZ.

Entry and Address

A designated mental health entry and drop off can be established from Mary Potter Circuit into the northern site. Further along Mary Potter, a secondary road access is proposed to provide access for vehicle entry to the car park, the mental health services zone and the High Dependency Unit (HDU) drop off.

Logistics and hospital support services will be within the main hospital building, with an underground link proposed to service the mental health facility.

For staff and patient transfers, an above ground link over Mary Potter Circuit has been suggested. This will link across on the theatre floor.

Test fit studies

A test fit study was completed to ensure the scheduled areas and bed numbers could fit on the site. The priority for this design is to ensure the majority of patient beds and communal spaces can be located on the ground floor. It was deemed acceptable to have the older persons unit on the second floor so long as outdoor courtyard access could be achieved.

BUSH FIRE



- NORTHERN MENTAL HEALTH SITE
- ASSET PROTECTION ZONE (APZ)
- PROPOSED NEW HOSPITAL ACUTE SERVICES BUILDING
- PROPOSED LOCATION FOR THE NEW MULTI - DECK CARPARK

ENTRY AND ADDRESS

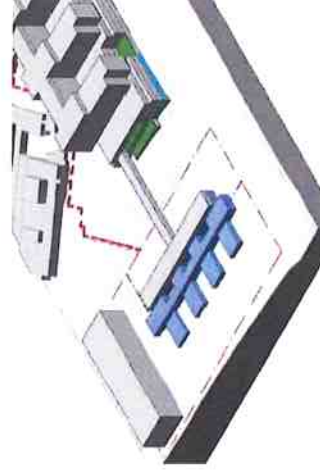


- NORTHERN MENTAL HEALTH SITE ENTRY
- POTENTIAL NEW CAR PARK ENTRY
- POTENTIAL OVER ROAD PATIENT LINK TO NEW HOSPITAL
- POTENTIAL UNDERGROUND LOGISTICS LINK

TEST FIT STUDIES



- ZONE FOR MULTI DECK CAR PARK
- COMMUNAL AREAS
- AMBULATORY CARE
- SUPPORT ZONES
- STAFF AREAS
- PATIENT COURTYARDS
- POTENTIAL BED NUMBERS
- LIFT TO LINK BRIDGES

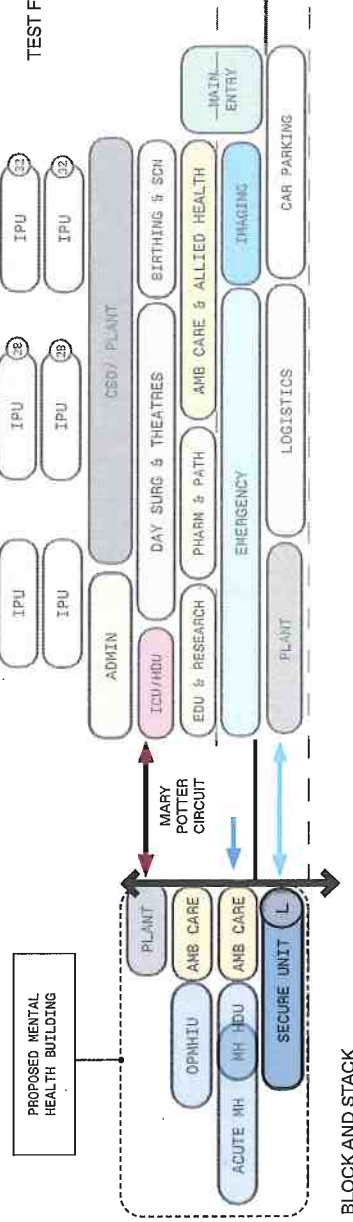


Site 1

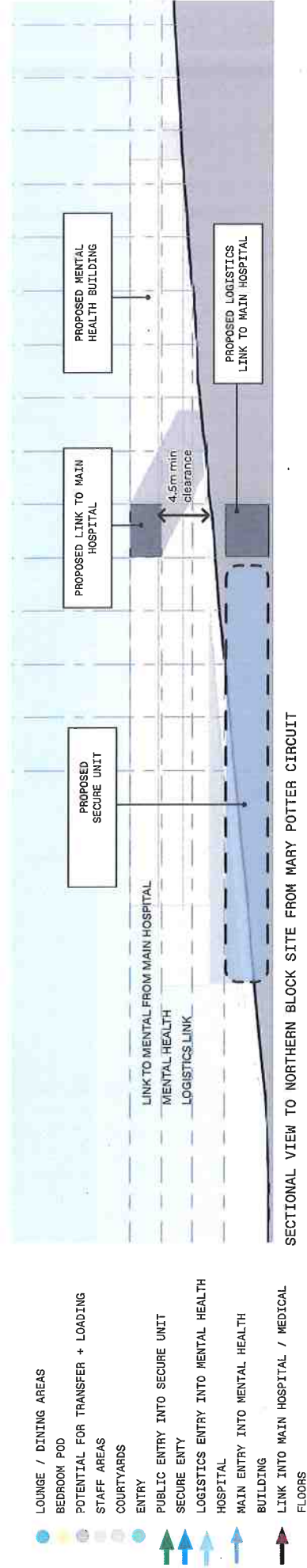
Proposal

The selected mental health option has the following considerations;

- Stand alone mental health building positioned to the south eastern area of the northern block site.
- Multi-deck car park located to the north west within the APZ.
- Mental health bedrooms across 3x floors
- Separate entry for secure unit
- Entry into secure unit available through main hospital including transfers from ED or other areas of mental health.
- Logistics link under Mary Potter Circuit connects this facility to the main building enabling shared services.
- Co-location of mental health staff
- Staff and patient link from the main hospital on theatre level.
- Effective staging: new building can be constructed, mental health services decanted and then existing facility demolished.



BLOCK AND STACK



SECTIONAL VIEW TO NORTHERN BLOCK SITE FROM MARY POTTER CIRCUIT

Site 2

Block 15 - Section 49 - Mugga Lane, Symonston (Dhulwa)



Site 2

Proposed site

Site 2 is located at Block 15 Section 49 Symonston. Following a discussion with Major Projects Canberra / ACT Health, it was suggested that the boundary of site 2 could be expanded to include additional area to the north, south and east of the current Dhulwa facility. This extending the assessment to surrounding Block 16 and Block 17 and enabled 4x test fits associated with this site.

The Site 2 diagram herein indicates the extent of primary Site 2 on Block 15 with a solid yellow line. The proposed Site 2 boundary extension is indicated by the additional dashed yellow line showing inclusion of part portion of Block 16 and Block 17 directly adjacent to Block 15.

Town planning advice from Planit and a preliminary desktop site study has revealed the following:

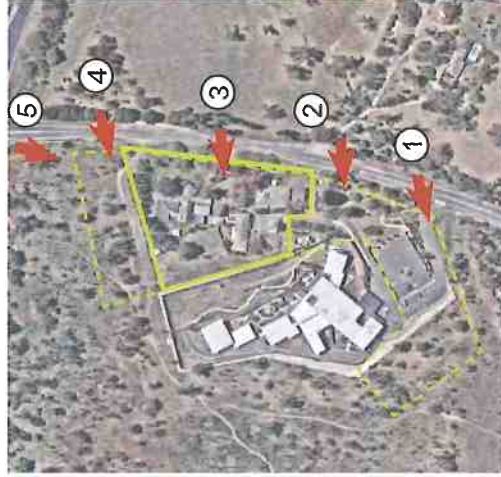
- SITE 2**
- Block 15 area 12,575m²
 - Land Use Zone: all blocks are NUZ1:Broadacre
 - Territory Plan: Overlay zone
 - Current site use: Block 15 is used for emergency training purposes in custodianship of Justice and Community Services (JACS). Block 16 contains the Dhulwa Secure Mental Health Unit. Block 17 is unleased land in the custodianship of EPSDD Parks and Conservation Services.
 - Site Adjacencies: Farm lands / bush lands, Dhulwa Mental Health Unit.
 - There are few specific planning controls for the Broadacre zone in the new Territory Plan, so providing the use is permissible, it would need to respond to the assessment outcomes in the Non Urban Zones Policy.
 - As blocks 15 and 17 are unleased land, there may be an opportunity to consolidate blocks, adjust the block boundaries or create a new block.
 - All blocks are within the bushfire prone area.
 - All blocks have potential threatened woodlands.
 - The blocks are outside the 1% AEP Flood Model extent.
 - There are no nominated, provisional or registered Heritage values on site.
 - There are no registered trees on the site.
 - There are trees that may meet the threshold for protection under the Urban Forest Act.
 - Block 17 has potential for rare invertebrates.
 - There is an easement for access in Block 16 which provides that the Lessee shall at all times permit the Lessee of Block 15 to pass and repass through the easement and no buildings or structures can be built within the easement.
 - The sites are not on the Register of Contaminated sites, but an investigation would be appropriate to ensure there is no contamination from previous uses.
 - Development of this type of facility would only be considered permissible on Blocks 15 or 17 if it is determined that the use can either be defined as residential care accommodation or complementary use, otherwise an amendment to the Territory Plan would be required.

- BLOCK 16
- BLOCK 17
- BLOCK 15 - SITE 2 BOUNDARY
- PROPOSED SITE BOUNDARY EXPANSION



Site 2

Context - Site Photos



Site conditions

Development constraints

TOPOGRAPHY

INFORMATION FROM ACTMAPI

Across site 2, the topography rises approximately 6m from the site's western boundary across to Mugga Lane on the east. The area with the steepest topography is the southern part of the expanded site in where there is an approximate 8 metre rise from Dhuulwa's site boundary to the proposed boundary expansion to the south west. There is also a ridge to the south western edge of the Dhuulwa site raising 4m upward from the height of the current carpark.



SITE BOUNDARY
1 METRE CONTOURS

TERRITORY PLAN LAND USE ZONES

INFORMATION FROM ACTMAPI

Blocks 15, 16 and (part) 17 Section 49 Symonston are all Territory land zoned NUZ1 Broadacre. Block 15 is currently released land in the custodianship of JACS, Block 17 is released land in the custodianship of EPSDD Parks and Conservation Services.



SITE BOUNDARY
NON URBAN - NUZ1 - BROADCARE
DESIGNATED AREAS
TRANSPORT AND SERVICES - TSZ1

Site conditions

Development constraints - Biodiversity

THREATENED PLANTS & ECOLOGICAL COMMUNITIES

INFORMATION FROM ACTMAPI

Within both the proposed and expanded sites, there are areas identified as containing threatened plant species. This has been identified as potentially threatened woodland. A ecology report is required to further understand what restrictions this may place on site usage.



POTENTIAL THREATENED WOODLAND

VEGETATION COMMUNITIES

INFORMATION FROM ACTMAPI

Although no registered trees are noted on site, trees that may meet the threshold for protection. Areas of the nominated site may contain Blakely's red gum and/or yellow box tall grassy woodlands. The ecological values of the site will need to be considered in any planning for development. An ecology report will be required.



U19 BLAKELY'S RED GUM - YELLOW BOX GRASSY WOODLAND
URBAN AND DEVELOPED AREAS



BLAKELY'S RED GUM (EXAMPLE)



BLAKELY'S RED GUM - YELLOW BOX GRASSY WOODLAND (EXAMPLE)

Site conditions

Development constraints - Bush fire

BUSH FIRE PRONE AREA

INFORMATION FROM ACTMAPI

The following mapping studies indicate large areas of the primary and expanded site are within a bush fire prone area. Further assessment and advice is required from a bush fire consultant to understand any potential site restrictions. It should be noted, an APZ zone has been established around the Dhulwa site. We would assume subsequent developments around this facility may apply a like approach.



BUSHFIRE PRONE AREA

BUSH FIRE MANAGEMENT ZONES

INFORMATION FROM ACTMAPI



SFAZ AGRICULTURAL
OUTER ASSET PROTECTION ZONE
INNER ASSET PROTECTION ZONE
SFAZ ACT GOVERNMENT

BUSH FIRE ABATEMENT ZONE

INFORMATION FROM ACTMAPI



BUSHFIRE ABATEMENT ZONE

Site conditions

Development constraints - Existing services

WATER SERVICES

INFORMATION FROM ACTMAPI

There is a 100 mm water main traversing the site. This service may need adjustment and relocation to suit the relevant planning option. Alternatively an approach could be to retain and protect the water main for a build-over option. The size and capacity of the water main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. For additional information refer to the services report attached.



SEWER GRAVITY MAINS
WATER MAINS

EASEMENTS

INFORMATION FROM ACTMAPI

The following mapping study indicates that there are no significant easements affecting the proposed site. There is a right of way easement road located along the south-east boundary of nominated site, however this remains unaffected by the proposed options.



RIGHT OF WAY EASEMENT

OVERHEAD POWER LINES

INFORMATION FROM ACTMAPI

Overhead power lines run along Mugga Lane and then across the southern boundary of the expanded site. The current proposal sorts to avoid these lines however further advice around the area of setback around these power lines is required.



OVERHEAD POWER LINES

Test fit options

Four options have been explored in association with site 2.

- Option 2A - test fit responding to the preliminary brief to investigate Block 15 as the primary site.
- Option 2B - this option looks at expanding the site boundary to create a site to the north of Block 15.
- Option 2C - this option is positioned on the vacant area within the current Dhulwa site.
- Option 2D - this options looks at expanding the Dhulwa site boundary to create a site to the south west.

Additional to the test fits studies, each siting option will need additional studies from services, town planning, bush fire and ecological to determine the feasibility of the alternative siting locations.



- SITE BOUNDARY
- - - PROPOSED SITE BOUNDARY EXPANSION

Test Fit - Site 2 Option 2A

Site plan

Positioned on Site 2, this option looks to position the secure mental health building on the northern portion of the site. This enables the existing site facilities to the south to remain. This option seeks to retain and extend the existing site access and road infrastructure while also establishing an on site car park to service this facility. It assumes the removal of the main building on site which is currently used as a corrections training facility.

The siting of the main building proposes entry off Mugga Lane then accesses a drop off point close to the building's main entry with a separate discrete/ secure access and staff/ logistics access to the western side. A car park area is proposed to be provided to the south of the main building with ease of access from the entry road and drop off.

A preliminary item of note requiring further assessment as stipulated in the Arup Due Diligence Report (Appendix 4) is the potential for contamination risk from the historical and current uses.

- EXTERNAL COURTYARD AREA
- INTERNAL AREA
- ENTRY ROAD AND DROP OFF/PICK UP
- LONG TERM / STAFF PARKING
- SITE BOUNDARY
- SITE BOUNDARY EXPANSTON
- POWER LINES
- 5M CONTOURS
- PUBLIC ENTRY INTO SECURE UNIT
- SECURE ENTY
- LOGISTICS ENTRY
- PEDESTRIAN ROUTE FROM CARPARK



Test Fit - Site 2 Option 2B

Site plan

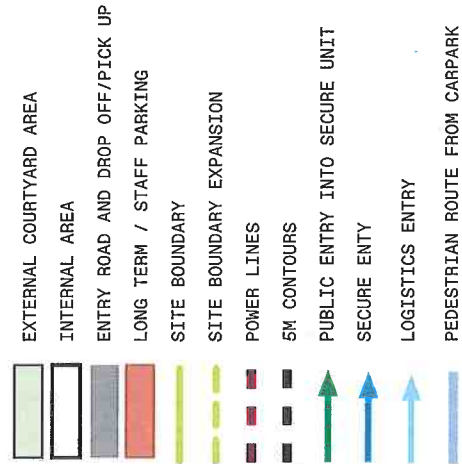
Test fit Option 2B located to the north of Block 15 as part of an expanded site.

The benefits of this location is as follows:

- o Retention of the existing correctional centre training facility in its current location.
- o The new facility remains in close proximity to Dhulwa while establishing its own identity.
- o The site has an existing entry point which can be upgraded to provide site access to the new development.
- o Potential for outlook over neighboring grassland for patient bedrooms.
- o Enables future expansion through further massaging of the site boundary or growth to the east.
- o Establishment of a visitor/patient and drop off and separate road and entry point for logistics and potentially volatile patients.

This site will also require the establishment of a car park.

Based on the planning report, Option 2B would be located within the Designated Area and so require works approval from the National Capital Authority.



Test Fit - Site 2 Option 2C

Site plan

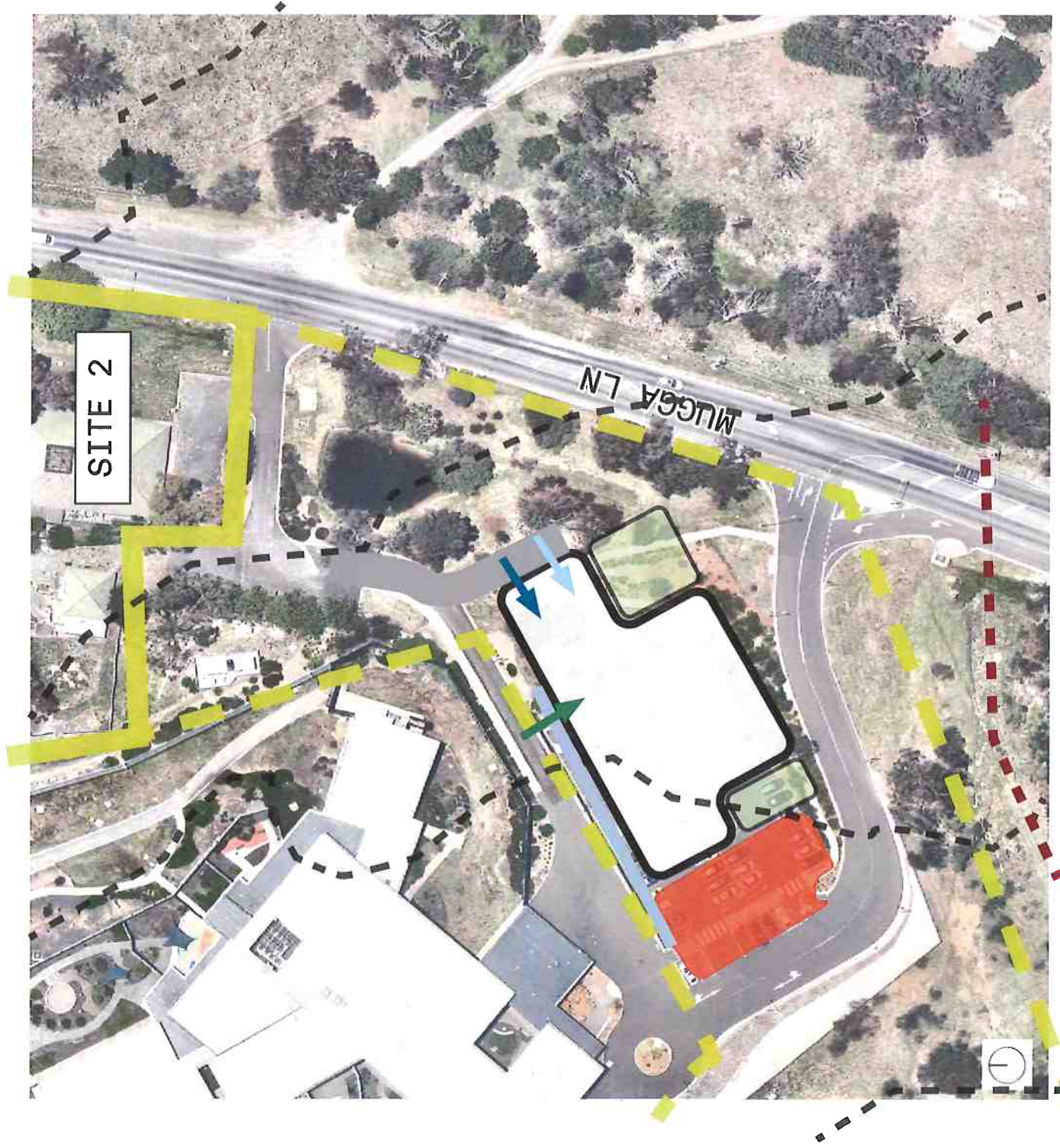
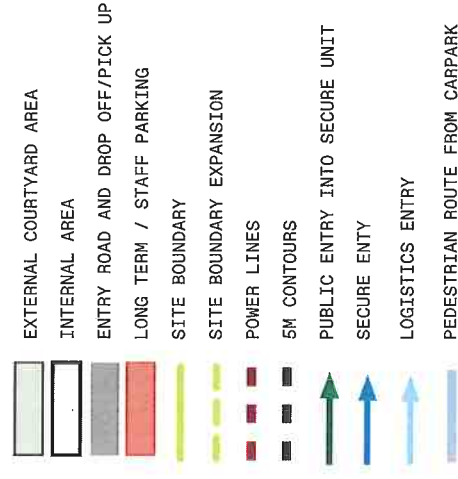
Test fit Option 2C assesses the location of the new mental health development collocated with the Dhulwa mental health facility.

The location provides the benefit of being in very close proximity to Dhulwa with the potential to share the use of the main access road off Mugga Lane and the existing car park facilities. The topography appears to be relatively flat due to the surrounding infrastructure already in place.

The benefits of this location is as follows:

- o Retention of the existing correctional centre training facility in its current location.
- o Enables sharing of the existing entry road and car park already establish for Dhulwa.

Test fit studies of this site, revealed the site area to be constrained by the surrounding road infrastructure on the east and the west, the existing rainwater retention basin to the north and the car park to the south-west. Should this site be selected, in locating the building footprint, the eastern area of the existing car park will need to be removed in order to accommodate the required SOA areas. Subject to further traffic advice, the Dhulwa carpark could be relocated to the west of its current location. The design would need to consider the topography to minimise earthworks and accessibility requirements due to the grade changes.



Test Fit - Site 2 Option 2D

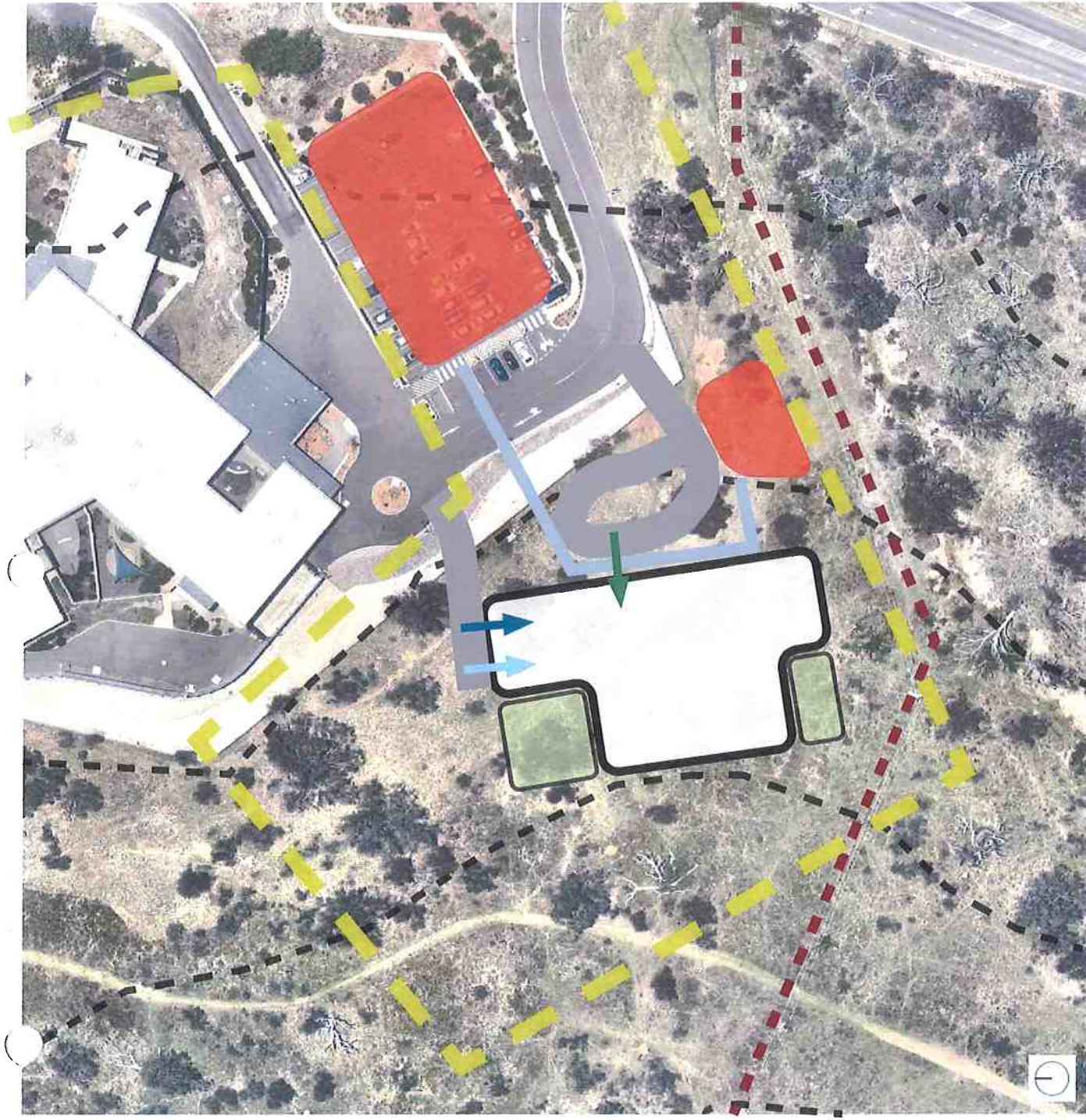
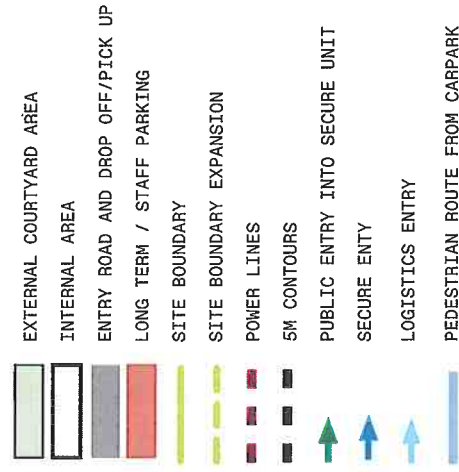
Site plan

In this option, the proposed mental health facility is located to the south west of the Dhulwa site and suggests an expansion of the current site boundary.

The benefits of this location is as follows:

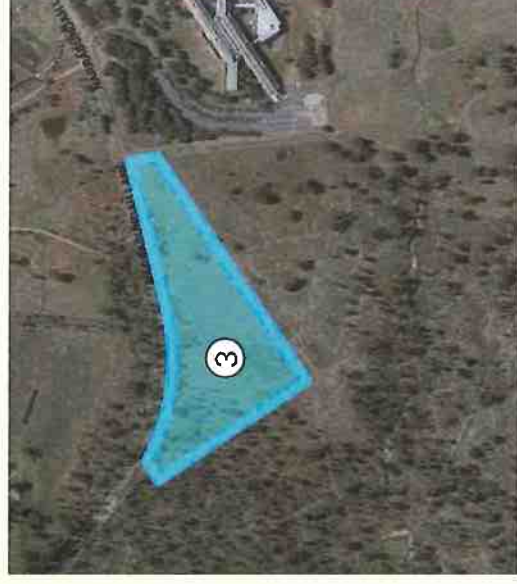
- o Retention of the existing correctional centre training facility in its current location.
- o Enables sharing of the existing entry road and car park already establish for Dhulwa.
- o The new facility remains in close proximity to Dhulwa while establishing its own identity.
- o Enables future expansion through further massaging of the site boundary or growth to the east.
- o Potential for outlook over neighboring grassland for patient bedrooms.

This site has an 8m fall across it thus a building in this location may required significant requirements for earthworks. The building has been positioned in alignment with the contours, in an attempt to minimised the required leveling. The embankment currently around the edge of the Dhulwa site will also need to be addressed to provide access for staff from the existing car park. A visitor / patient drop off and car park will need to be established on the extended site adjacent the new facility.



Site 3

Block 12, Section 102, Narrabundah Lane, Symonston



Site 3

Context

Site 3 is located at Block 12 Section 102 Symonston fronting Narrabundah Lane.

Town planning advice from Planit and a preliminary desktop site study has revealed the following:

SITE 3

- o Block area 63,000m²
- o Land Use Zone: NUZ1: Broadacre
- o Current ownership: unleased Territory land in the custodianship of EPSDD Parks and Conservation
- o Current site use: NIL
- o The site is within the Eastern Broadacre Strategic Assessment area, so decisions about the use of the land may not be possible until this assessment is complete
- o Hospital is not a permitted use in the NUZ1 Broadacre zone unless it can be defined as residential care accommodation or complementary use, an amendment to the Territory Plan would be required.
- o Site Adjacencies: Agricultural land / Callum Brae Nature Reserve/ Department of Health government offices
- o The block is within the bushfire prone area
- o The block has potential threatened woodland and protected plants
- o The block is outside the 1% AEP Flood Model extent
- o There are no nominated, provisional or registered Heritage values on site.
- o There are no registered trees on the site.
- o There are trees that may meet the threshold for protection under the Urban Forest Act.
- o The site is not on the Register of Contaminated sites



— SITE BOUNDARY

Site 3

Context - Site Photos



Site conditions

Development constraints

TOPOGRAPHY

INFORMATION FROM ACTMAPI

The topography rises approximately 14 metres from the Narrabundah Lane eastern frontage across to the south-west boundary of Block 12.



SITE BOUNDARY
1 METRE CONTOURS

TERRITORY PLAN LAND USE ZONES

INFORMATION FROM ACTMAPI

The site is unleased Territory land zoned NUZ1 Broadacre in the custodianship of EPSDD Parks and Conservation Services.



SITE BOUNDARY
NON URBAN - NUZ1 - BROADCARE

Site conditions

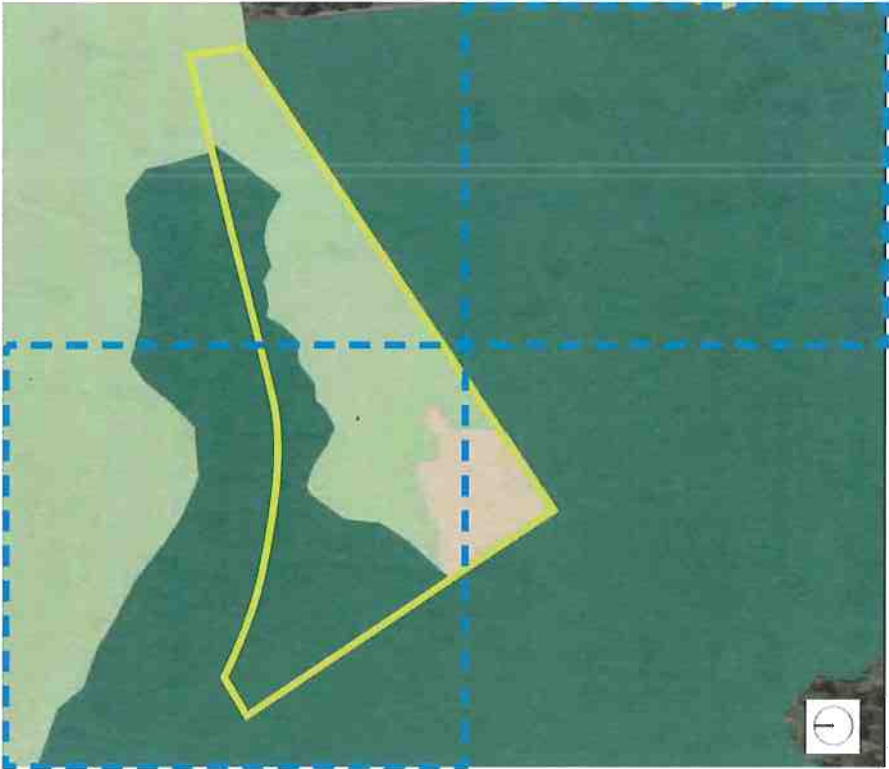
Development constraints

BIODIVERSITY

THREATENED PLANTS AND ECOLOGICAL COMMUNITIES

INFORMATION FROM ACTMAPI

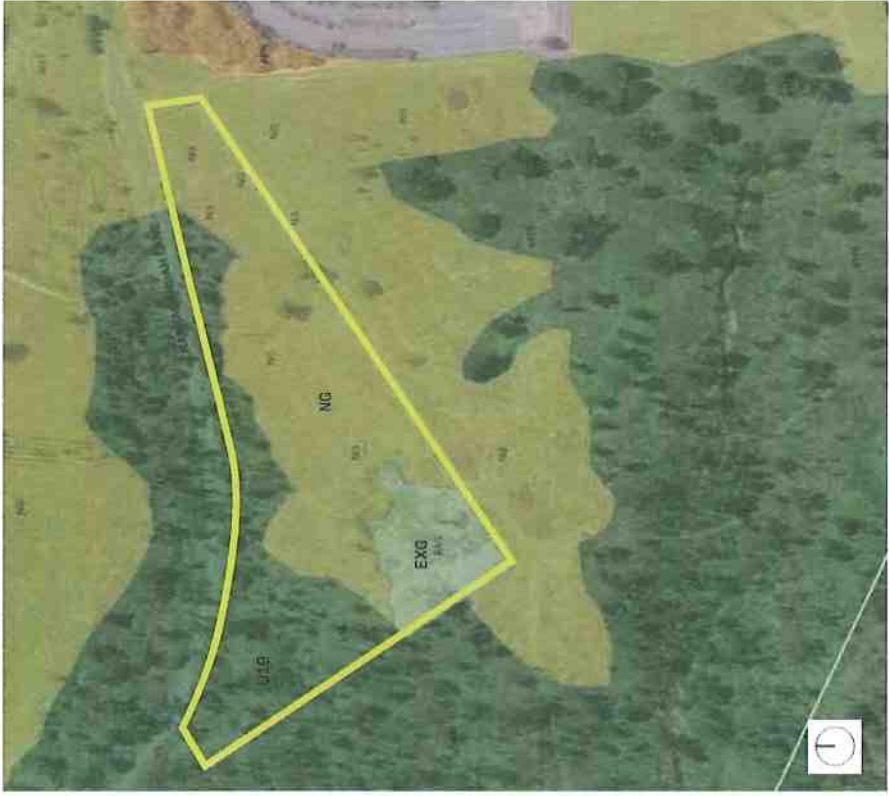
Within the proposed site there are areas identified as containing threatened plant species. This has been identified as potentially threatened woodland, native grasslands and exotic grasslands. A ecology report is required to further understand what restrictions this may place on site usage.



VEGETATION COMMUNITIES

INFORMATION FROM ACTMAPI

Although no registered trees are noted on site, trees that may meet the threshold for protection. Areas of the nominated site may contain Blakely's red gum, exotic grasslands and native grasslands. The ecological values of the site will need to be considered in any planning for development. An ecology report will be required.



BLAKELY'S RED GUM (EXAMPLE)



EXOTIC GRASSLANDS (EXAMPLE)



NATIVE GRASSLANDS (EXAMPLE)

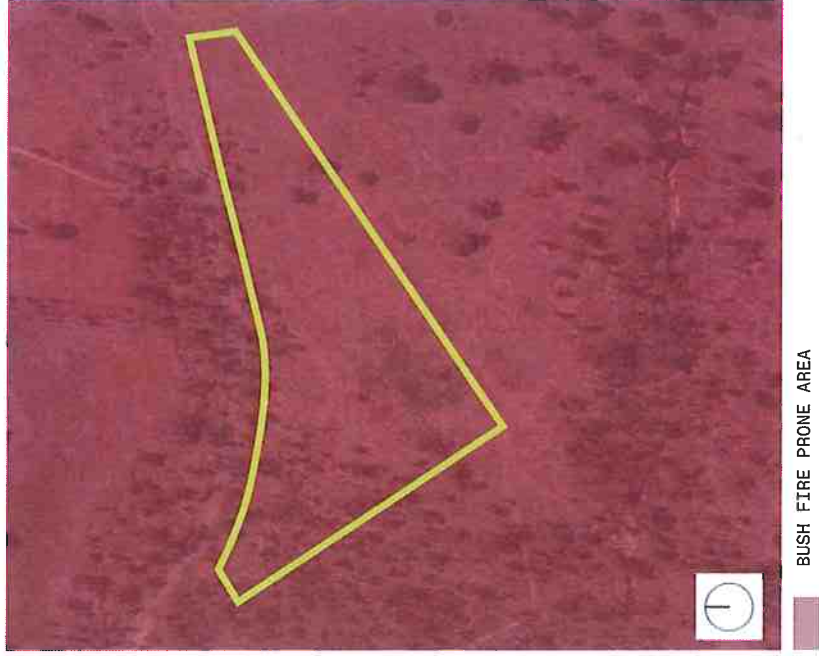
Site conditions

Development constraints

BUSH FIRE PRONE AREA

INFORMATION FROM ACTMAPI

The following mapping studies indicate the site is within a bush fire prone area. Further assessment and advice is required from a bush fire consultant to understand any potential site restrictions.



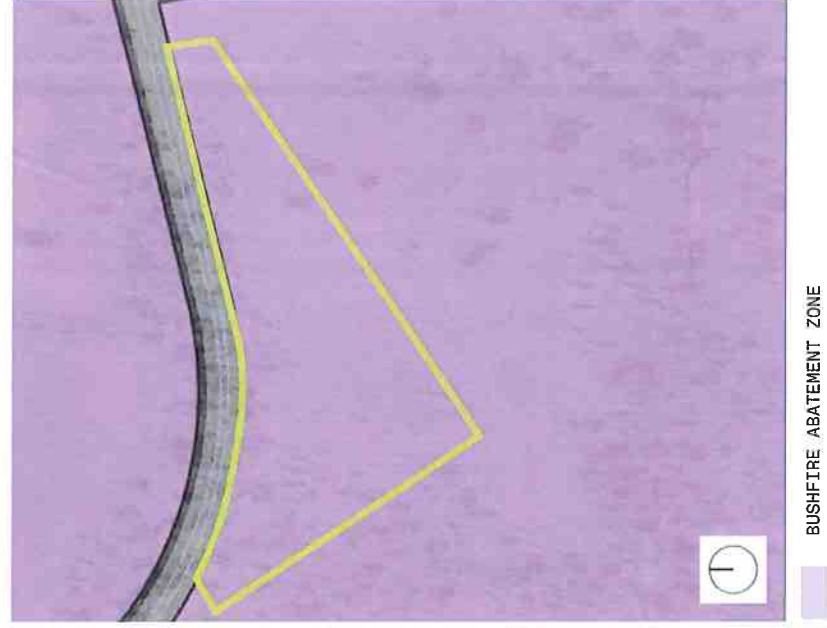
BUSH FIRE MANAGEMENT ZONES

INFORMATION FROM ACTMAPI



BUSH FIRE ABATEMENT ZONE

INFORMATION FROM ACTMAPI



Site 3

Context

Site 3 presents a large site area with many available options for siting. The area proposed has been selected for the following reasons:

- Minimise site usage to enable this site to be used for subsequent facilities as required.
- Easy access from Narrabundah Lane to minimise quantity of roads.
- Enables future expansion to both the east and west.
- Potential for outlook over neighboring grassland for patient bedrooms.
- Sufficient green space around the building to create garden and buffering from the road and neighbouring properties.



— SITE BOUNDARY

Site 3

Context

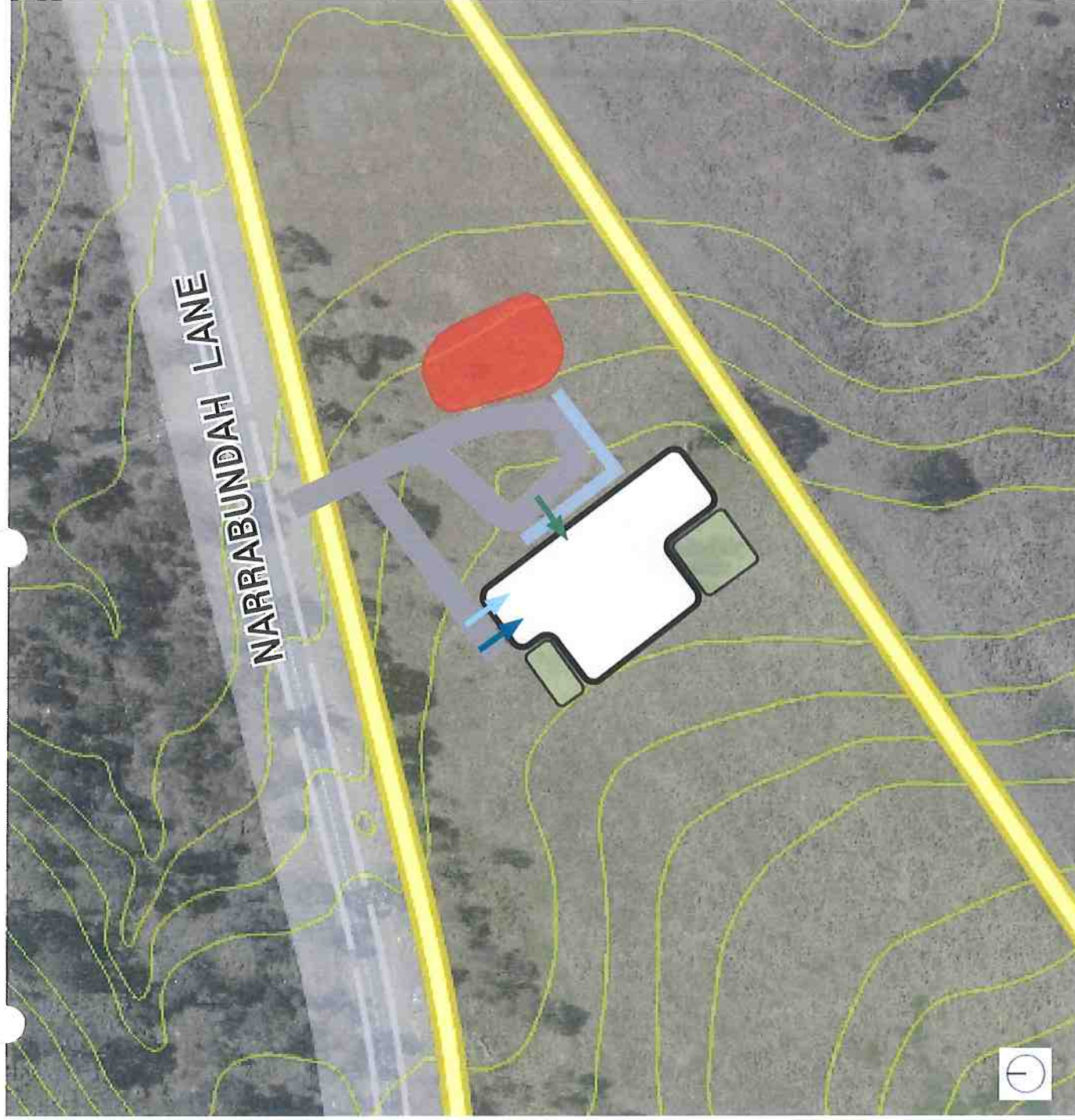
In this option, the proposed mental health facility is located to the eastern portion of the site. The position has been selected to work in within the existing topography.

The benefits of this location is as follows:

- o Establishment of logistic and public entry road.
- o Large site with numerous opportunities for siting.
- o Potential for outlook over neighboring grassland for patient bedrooms.
- o Enables future expansion to the west.

This option was discounted by ACT Health and MPC thus no further studies are required for this location.

- EXTERNAL COURTYARD AREA
- INTERNAL AREA
- ENTRY ROAD AND DROP OFF/PICK UP
- LONG TERM / STAFF PARKING
- SITE BOUNDARY
- SITE BOUNDARY EXPANSION
- POWER LINES
- 5M CONTOURS
- PUBLIC ENTRY INTO SECURE UNIT
- SECURE ENTRY
- LOGISTICS ENTRY
- PEDESTRIAN ROUTE FROM CARPARK

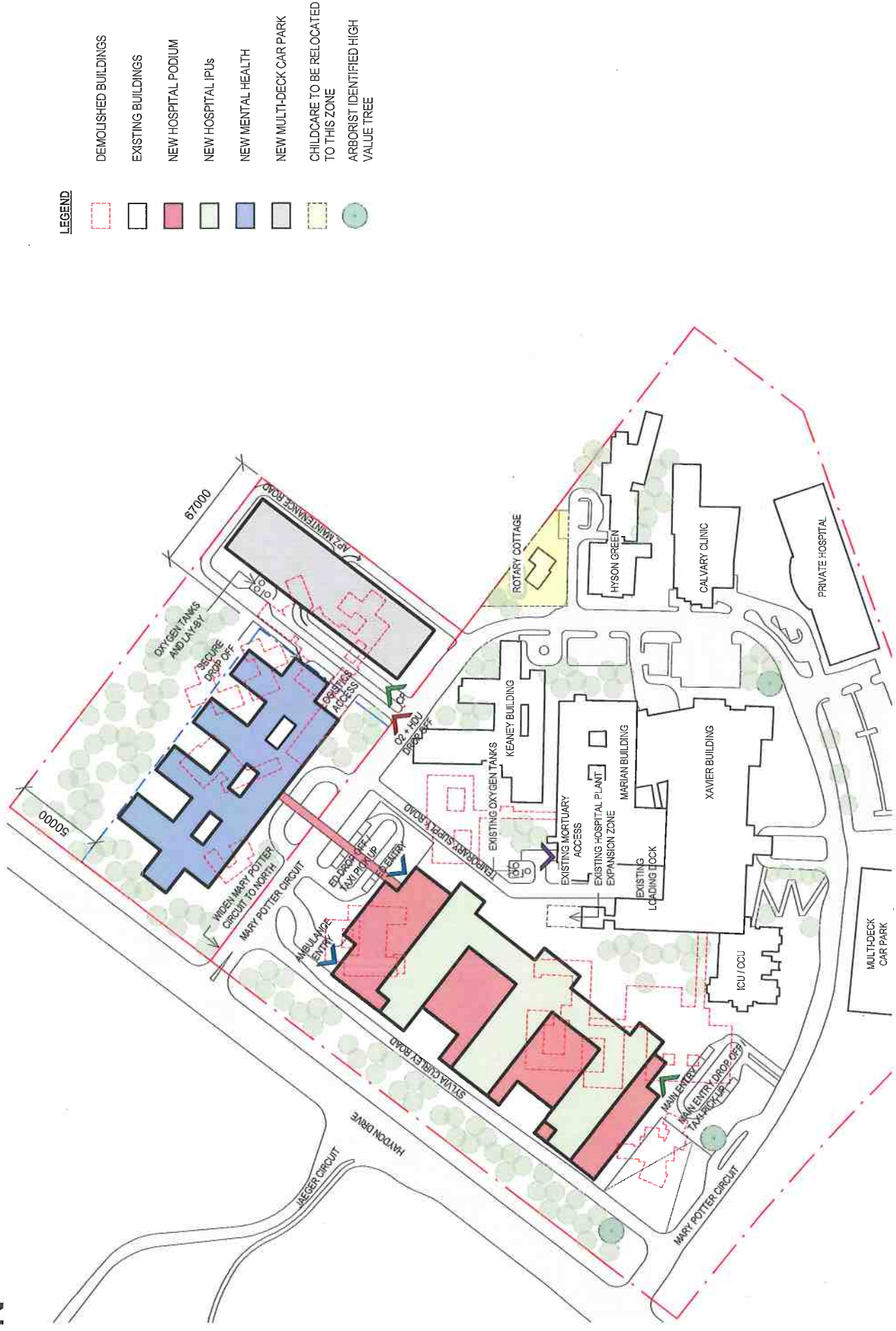


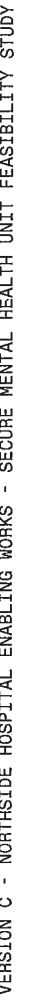
Appendices

04

Appendix 1 - Mental Health Site - Concept Design, Northside Hospital BVN

BVN





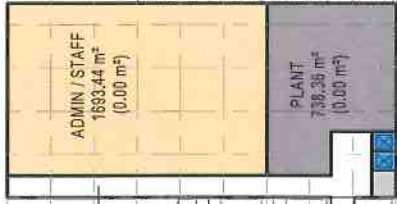
HAYDON DRIVE

SYLVIA CURLEY ROAD

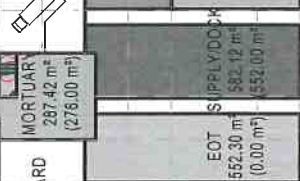
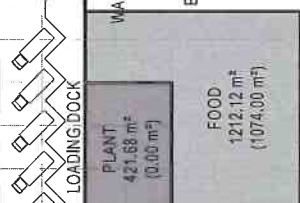
MARY POTTER CIRCUIT

UNDERGROUND LOGISTICS LINK

67m APZ SET BACK ZONE



TRAVEL
386.36 m²
(0.00 m²)



TRAVEL
1199.28 m²
(0.00 m²)

FM / BED ACCESS

PUBLIC ACCESS

HOT LIFT

PUBLIC LIFT

BACK OF HOUSE / PATIENT LIFT

HAYDON DRIVE

SYLVIA CURLEY ROAD

CLINICAL SUPP
333.69 m²
(280.00 m²)

VH - HOME
265.95 m²
(280.00 m²)

DAY CHEMO
165.48 m²
(184.00 m²)

MIKED/COMMERCIAL
437.34 m²
(450.00 m²)

TRAVEL
132.30 m²
(0.00 m²)

IMAGING
3121.58 m²
(2587.00 m²)

TRAVEL
1027.45 m²
(0.00 m²)

ED
5655.86 m²
(5622.00 m²)

SECURITY
83.16 m²
(83.00 m²)

AMBULANCE

ED DROP
OFF

MAIN
ENTRY

FOH
514.06 m²
(450.00 m²)

MH
423.35 m²
(0.00 m²)

TRAVEL
57.96 m²
(0.00 m²)

COURTYARD

TRAVEL
576.95 m²
(0.00 m²)

ADMIN / STAFF
593.92 m²
(0.00 m²)

ACUTE MH
3246.56 m²
(0.00 m²)

COURTYARD

COURTYARD

COURTYARD

PHARMACY/MH COLLECTION
263.04 m²
(0.00 m²)

FOH/SECURITY
268.80 m²
(0.00 m²)

ECT
215.04 m²
(0.00 m²)

MH HDU
855.54 m²
(0.00 m²)

LOGISTICS
211.68 m²
(0.00 m²)

MH SECURE
DROPOFF

MULTI DECK
CAR PARK

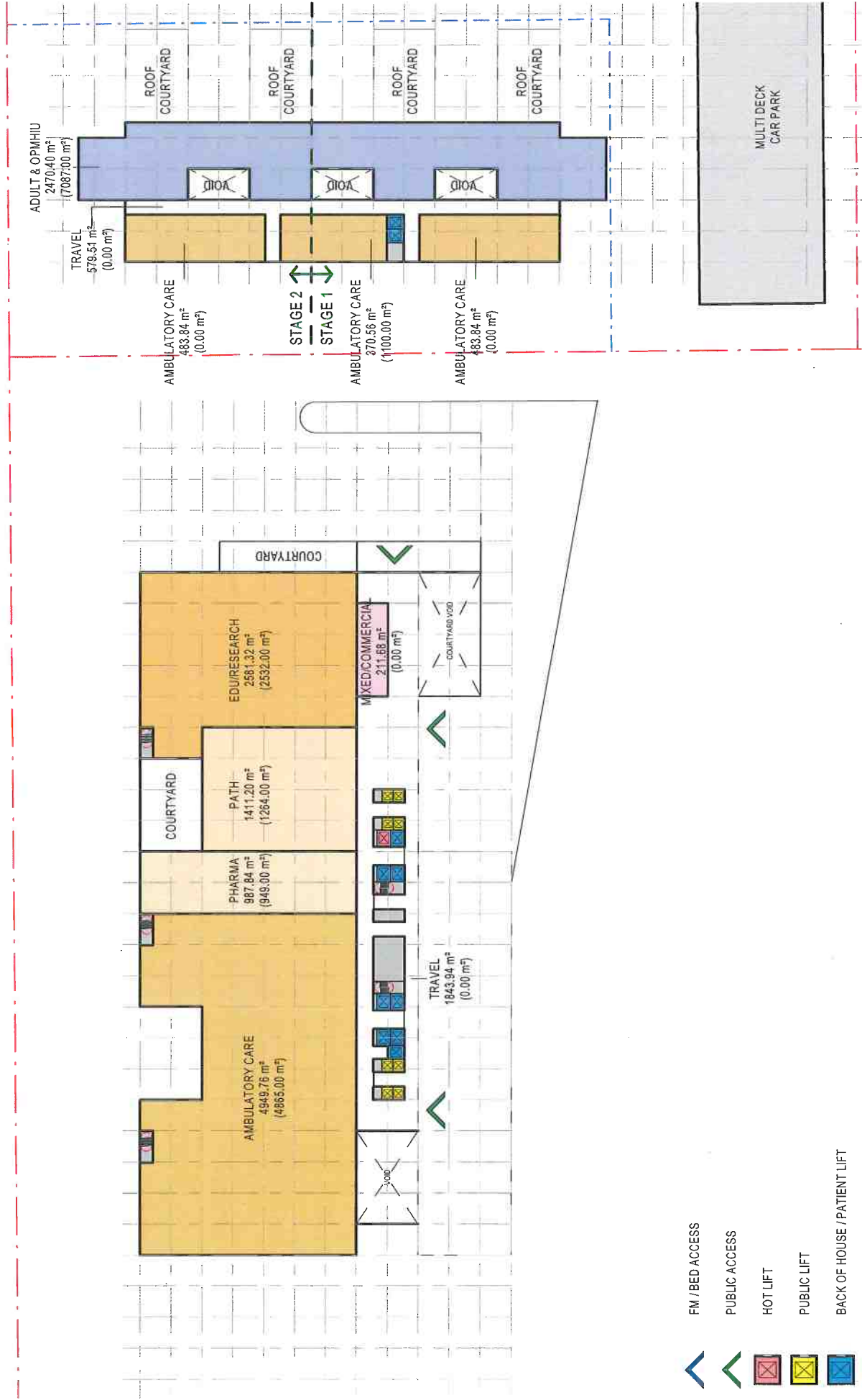
FM / BED ACCESS

PUBLIC ACCESS

HOT LIFT

PUBLIC LIFT

BACK OF HOUSE / PATIENT LIFT



Appendix 2 - Planning Report PLANIT



3rd March 2024

Alexina Spinks
Project Manager
Arup
By email: alexina.spinks@arup.com

NHEW - Workstream 2: Symonston sites
Gawanggal Mental Health Unit

Dear Alexina,

Introduction

This letter provides a planning summary for the Symonston sites being considered for Workstream 2 of the Northside Hospital Enabling Works for the Gawanggal Mental Health Unit. The purpose of this letter is to identify the important planning considerations for the sites identified in Symonston.

We understand that ACT Health are seeking a permanent relocation for the Gawanggal Mental Health Unit which is a 10-bed community rehabilitation and reintegration unit which supports people to transition back into the community following inpatient mental health care. The facility provides ongoing medium-term treatment in a safe inpatient environment where patients develop the skills of daily living. The unit has access to a variety of health care professionals that work together to support the care and recovery of patients.

Site 1: Blocks 15, 16 and 17 Section 49 Symonston

Introduction

We understand that ACT Health are seeking advice about the potential opportunity to utilise Block 15 Section 49 along with part of Block 16 Section 49 (Dhulwa) or parts of the surrounding Block 17 Section 49 for the development of a new Gawanggal Mental Health Unit. This advice focusses on Block 15, but also considers the planning opportunities for utilising blocks 16 and 17 (or parts thereof).

Site Details

Block 15 Section 49 Symonston is an irregular shaped block fronting Mugga Lane (20 Mugga Lane) which is the site of the former Quamby Youth Detention Centre (1962-2008) and is understood to now be used by emergency services for training purposes. It has an area of 12,572m².

Block 16 Section 49 Symonston is an irregular block fronting Mugga Lane (with a street address at 30 Mugga Lane). It is developed as the Dhulwa Secure Mental Health Unit which provides a 25 bed facility with 24 hour treatment and care for adults with complex mental health needs. The block has an area of 2,788 hectares.



Figure 1: Sites; block 15 outlined in blue, block 16 outlined in red, block 17 is adjacent to these blocks

Land Tenure

Block 15 is unleased Territory land in the custodianship of Justice and Community Services (JACS).

Block 16 is held under an Executive Lease to the Australian Capital Territory for any purpose permitted pursuant to the Territory Plan. The block 16 lease includes an easement for access for the benefit of block 15. The lease states that no buildings, structures or vegetation are to be built or placed on any part of the easement.

Block 17 is unleased Territory land in the custodianship of EPSDD Parks Conservation.

District Strategy

The ACT District Strategies are policy documents which provide the vision to manage growth and change in the ACT over the next 15 years and seek to deliver the directions of other key ACT policy documents. They sit below the ACT Planning Strategy and provide guidance for future change in each of the urban districts.

In relation to these sites being considered in Symonston, the East Canberra District Strategy does not identify anything specific to this site in future. It is not identified as an area that is subject to change in the future.

The East Canberra District Strategy identifies the sites being within the Eastern Broadacre Strategic Assessment Area, but this is not reflected in the Eastern Broadacre Investigation Zone map on the ACT government website. Strategic Planning have confirmed that the sites are not within the Eastern Broadacre investigation area.

EPBC Consideration

The *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) is the Commonwealth Government's primary legislation for the protection of matters of national environmental significance (MNES). It provides a legal framework to protect and manage nationally and internationally important flora, fauna, ecological communities and heritage places.

EPBC matters need to be considered prior to local planning matters as decisions under the EPBC Act can affect local planning pathways. Approvals under the EPBC Act are additional to any approvals required under Territory Legislation.

The site and its surrounds contain many trees which may have potential to provide habitat or values for matters which could be protected under this Act; it is recommended that an ecological survey and advice from an ecologist is sought to determine the potential requirement for consideration of matters which may require referral or assessment under the EPBC Act.

National Capital Plan (NCP)

The National Capital Plan (NCP) secures the Australian Government's continuing interest to ensure that Canberra and the Territory are planned and developed in accordance with their national significance. The NCP prevails over the Territory Plan, and the Territory Plan cannot be inconsistent with the NCP.

The NCP maintains a broad oversight of planning in the Territory and importantly an interest in the planning, design and development of those areas having the special characteristics of the National Capital.

The NCP identifies the sites as being within the Broadacre area identified in the NCP. In the Broadacre areas Community Facility Use is permitted.

In the NCP the definition of Community Facility includes Hospital, Health Centre and Institutional Use among other uses.

In the NCP, Hospital means:

A building or place used for the medical care (including diagnosis, preventative care and counselling) of in-patients whether or not out-patients are also provided with care or treatment, and may include associated residential accommodation.

Institutional Use means:

The use of land as a benevolent home, convalescent home, hospital, nursing home, aged persons home, home for persons who are physically or mentally handicapped, or a remand, penal or reformative establishment.

Health Centre means:

A building or place used for the medical care (including diagnosis, preventative care and counselling) of out patients only and may include medical or dental clinics, family planning clinics, first aid station or other professional or paramedical health care services.

The uses that would support a mental health facility are therefore permitted in the Broadacre areas in the NCP.

Planning Jurisdiction

The subject area is not Designated Land or National Land, so the blocks are Territory Land where the ACT Government Environment, Planning and Sustainable Development Directorate (EPDDD) are the relevant planning authority. Approvals would be assessed against the requirements of the *Planning Act 2023*.

The boundary of the Designated area is located immediately to the north and further to the west within Block 17 Section 49 Symonston. The designated area is subject to planning requirements in the NCP and the NCA is the relevant planning authority for the Designated area. Proposals in Designated Area are subject to works approval from the National Capital Authority.



Figure 2: Designated Area (grey hatch) boundary to the immediate north and further to the west of the sites (ACTmap).

Planning Act 2023

Definition of Development

Under the Planning Act 2023 (s14) the definition of Development includes (among other activities):

- building, altering or demolishing a building or structure on the land;
- undertaking earthworks or other construction work on or under the land;
- undertaking work that would affect the landscape of the land;
- using the land, or a building or structure on the land;

The main types of development are:

- Assessable development which needs development approval and includes significant development.
- Prohibited development which is unlawful unless approval is allowed under Division 7.3.1 (such as an authorised use, for example).
- Exempt development which does not need development approval.

Works for a new Mental Health facility would constitute development and require development approval.

Significant Development

Significant development is a form of assessable development that warrants a higher level of assessment.

Development is significant if it requires any of the following (s94):

- (a) a subdivision design application (a subdivision development proposal also includes consolidation, creation or removal of roads, or landuse zoning etc) (s43) (if subdivision or consolidation are proposed the proposal would be a significant development.
- (b) consultation with the design review panel (s100) as a prescribed development proposal which includes:
 - a building with 5 or more storeys
 - a proposal to increase the floorspace of a shop by more than 2,000m² if the shop is located within certain zones (not applicable – a proposal of this type should not require consultation with the Design Review Panel)
- (c) an environmental impact statement (EIS) (s105) (refer to discussion below)

Environmental Impact Statement

An EIS is required for a development proposal if (s105):

- (a) prescribed by regulation (refer to discussion below)
- (b) the Minister makes a Declaration (s106) (not applicable)
- (c) The Commonwealth Minister for the EPBC Act advises the proposal is a controlled action but may be assessed under the Act because of a bilateral assessment agreement (unlikely to be applicable, but may be relevant if likely to be significant impacts to EPBC listed matters).
- (d) The Health Minister makes a Declaration during notification of the DA (not applicable).

However, an EIS is not required if an Environmental Significance Opinion (ESO) is given for the proposal.

Development proposals that require an EIS are identified in Schedule 1 of the Planning (General) Regulation 2023 (s12). There are 25 items identified; items 1-15 are for specific project types such as waste facilities, infrastructure projects, airports and the like which would not be relevant.

Items 16-25 are for areas and processes which can be more broadly applicable and are listed below:

16. significant impacts on listed species or ecological communities (may be applicable but can be negated if an ESO is provided)
17. clearing more than 0.5 ha of native vegetation (may be applicable, but can be negated if an ESO is provided)
18. development in a reserve that is not minor public works (not applicable – the sites are not in a reserve)
19. impacts on water supply catchment (not applicable)

20. significant water extraction (not applicable)
21. significant impact on heritage place or objects (not applicable – sites do not contain listed heritage objects or places)
22. work on research sites outside the urban area (not applicable)
23. work on sites that are on the register of contaminated sites (not applicable)
24. annual greenhouse gas emissions exceeding 250t (not applicable)
25. proposal including key threatening process under the Nature Conservation Act, which includes the loss of mature native trees and/or habitat fragmentation. (note that this is a new requirement under the Planning Act 2023 and may require clarification from the Conservator if any mature native trees are proposed for removal – (may be applicable but can be negated if an ESO is provided)

Consideration would need to be made to potential ecological values of trees or habitat on the site (and surrounds) and the development footprint to determine whether an ESO would be required in relation to the items identified as potentially being applicable. Impacts to trees and habitat should be avoided where possible.

Territory Priority Project

The new Planning Act 2023 introduces Territory Priority Projects (TPP) which means:

- (a) a development proposal declared to be a territory priority project under section 218; or
- (b) a development proposal related to light rail.

Declaration of a TPP is jointly undertaken by the Chief Minister and Minister if they are satisfied that the proposal:

- (a) would achieve a major government policy outcome that is of significant benefit to the people of the ACT; and
- (b) would substantially facilitate the achievement of the desired future planning outcomes set out in the planning strategy; a relevant district strategy, the territory plan or any relevant zone; and
- (c) is for significant infrastructure, or significant facilities, that are of significant benefit to the people of the ACT; and
- (d) has been the subject of sufficient consultation.

The proposed declaration must be notified for at least 15 working days and public comments can be made. A TPP declaration must be presented to the Legislative Assembly.

A project must be identified as a Territory Priority Project prior to a development application being lodged. TPPs are decided by the Planning Minister and are exempt from third party appeal in the ACAT.

The TPP process might be relevant for projects associated with the new Northside Canberra Hospital Redevelopment. While it would involve additional work in the early stages of the project, including community engagement, it could reduce the risk of delays associated with third party appeals.

Consultation

Mandatory pre-DA consultation is no longer required under the Planning Act 2023, but consultation with nearby lessees and the local community council would be appropriate prior to any DA.

A development proposal for a building with 5 or more storeys or a precinct to increase the floorspace of a shop by more than 2000m² and that is located within residential, commercial community facility or parks and recreation zone is required to be presented to the National Capital Design Review Panel (NCDRP).

A development for a new mental health facility would not be expected to trigger design review.

Third Party ACAT Review

Schedule 6 of the Planning Act 2023 identifies matters exempt from Third Party ACAT review.

Development for a new mental health facility in this location would not be exempt from Third Party Review unless the project was considered a Territory Priority Project.

Section 186 Considerations when deciding a Development Application

Section 186 of the Planning Act includes the considerations to be made by the Territory Planning Authority when deciding DAs, these include:

- if the site of the proposed development adjoins another zone—whether the development proposal achieves an appropriate transition between the zones;

The site is adjacent to land zoned NUZ1 Broadacre to the west on Block 16 Section 49 and Mugga Lane and Blocks to the east are also zoned NUZ1 Broadacre. Block 17 Section 49 directly to the north is within the designated area under the NCP.

- the suitability of the proposed development in the context of the site and the site surrounds, including the permissible uses for those areas;
- Any development has to be considered suitable for the site and its surrounds, this includes that the use is permissible on the land.

Territory Plan 2023

The blocks are zoned NUZ1 Broadacre.

Permissible uses

Block 15 and 17 Section 49 Symonston

Permissible uses in the NUZ1 Broadacre zone that may be relevant include:

- Residential care accommodation
- Health facility
- Complementary use
- Hospital

Advice from the Territory Plan team in EPSDD is that a 'mental health facility' would fall under the definitions of either hospital or health facility, depending on whether it was for in-patients or not. As the use is understood to be for in-patients, health facility would not be relevant as the definition of health facility is that it is for outpatients only:

Health facility means the use of land for providing health care services (including diagnosis, preventative care, or counselling) or medical or surgical treatment to out-patients only.

Mental health facility was defined in the old Territory Plan, 2008 as:

Mental health facility has the same meaning as in the Mental Health (Treatment and Care) Act 1994 and this definition is only to be used for the Symonston site as defined in MT4 of the Symonston Precinct Map.

Mental health facility is not defined in the Territory Plan, 2023.

Hospital means the use of land for the medical care (including diagnosis, preventative care, and counselling) of in-patients, whether or not out patients are also provided with care or treatment and may include associated residential accommodation.

If the model of care is focused on medical treatment, it is considered the appropriate use would be for hospital which is not a permissible use in the zone and would therefore be prohibited. Alternatively, if the model of care was not to provide specific medical treatment but was providing care in a residential context, residential care accommodation may be appropriate:

residential care accommodation means the use of land by an agency or organisation that exists for the purposes of providing accommodation and services such as the provision of meals, domestic services and personal care for persons requiring support. Although services must be delivered on site, management and preparation may be carried out on site or elsewhere. Example uses are nursing home, hospice, supported dwelling, convalescent home.

If the use and model of care can be demonstrated to fit the definition of residential care accommodation, where the focus is not on medical care, then this use would be permissible in the zone.

Complementary use means the use of land for a purpose that is not otherwise defined in the Territory Plan but does not have a greater impact on the land than a use permitted in that zone.

If the use is not considered to be otherwise defined in the Territory Plan, complementary use could be considered. For example, if it were argued that this was a 'mental health facility' which is not defined in the Territory Plan 2023, it could potentially be considered as a complementary use provided the use does not have a greater impact on the land than a use permitted in the zone (such as residential care accommodation).

But clarification on this should be sought, advice provided from the Territory Plan team is that the use would be best considered as hospital (which is prohibited on Block 15). But there is precedent in the old Territory Plan for the separate definition of mental health facility on the adjacent Block 16.

In summary, on Blocks 15 and 17, the use would only be permissible if it can be defined either as a complementary use or as residential care accommodation, alternatively an amendment to the Territory Plan would be required to facilitate the use.

Block 16 Section 49 Symonston

Block 16 Section 49 Symonston is the site of the Dhulwa Mental Health Facility. This block has an additional assessable development for 'mental health facility' included in the East Canberra District Policy. As the proposed development is for a mental health facility, this would be permissible on Block 16 as an authorised use, permitted in the District Policy and therefore Block 16 could be developed for a new mental health facility.

Overlays

There are no applicable overlays on Blocks 15 and 16. Part of Block 17 has a Pc nature reserve and public land overlay, but the overlay area is approximately 275m to the west of block 16.

East Canberra District Policy

There are no additional assessable or prohibited development listed in the East Canberra District Policy for Blocks 15 and 17 Section 49 Symonston.

Block 16 Section 49 Symonston has an additional assessable development for 'mental health facility'.

There are no additional assessment requirements that apply to the Block in this Policy.

Non-Urban District Policy

The site is within the area subject to the East Canberra District Policy and therefore the Non-Urban District Policy is not considered relevant.

Non-Urban Zones Policy Outcomes

The policy outcomes for the NUZ1 – Broadacre Zone are:

1. Provide for, in a predominantly rural landscape setting, a range of uses which require larger sites and/or a location outside urban area.
2. Provide for activities requiring clearance zones or protection from conflicting development.
3. Promote development that does not adversely impact or visually intrude on the landscape and environmental quality of the locality.
4. Limit, where appropriate, development of uses that undermine the future use of land which may be required for urban and other purposes.

Development must respond to these policy outcomes through a demonstrated response to the Assessment Outcomes in the Non Urban Zones policy listed below.

Assessment Outcomes

Development proposals in the Non-urban zone must demonstrate that they are consistent with the assessment outcomes stated below. In demonstrating compliance with the assessment outcomes, consideration is to be given to any relevant design guides and may be given to planning technical specifications which may serve as a benchmark.

Specifications have been referred to where they are relevant below, noting that it is not compulsory to respond to the Technical Specifications.

Urban Structure and Natural Systems

1. Biodiversity connectivity is maintained across the landscape.

To respond to this the design should attempt to retain trees, particularly mature native trees and other regulated trees on the block (trees 8m or taller, canopy of 8m wide, circumference of 1m) and improve and enhance the biodiversity connectivity on the site and surrounds.

The sites are shown in ACTmap1 to be part of the urban ACT Ecological Network.

2. Loss of native habitat and biodiversity is avoided and/or minimised.

As per above aim to retain native trees and habitat if they are present and provide landscaping that incorporates native species for habitat values, ACTmap1 indicates the sites may contain threatened woodland.

3. The health and functionality of waterways and catchments is maintained, including through application of water sensitive urban design principles.

Application of WSUD features in design such as rainwater tanks or reuse and reduction measures. The site does not have a creek or waterway.

Site and Land Use

4. The functionality and usability of the development is appropriate for its intended purpose/use.

The development should be designed to function appropriately for its intended use.

5. The proposed use and scale of development are appropriate to the site and zone.

The use must be permissible in the zone, there are a limited number of permissible uses on Block 15 that would be appropriate. The scale of development should also be appropriate to the context of the zone and the surrounding developments, so within a rural landscape setting. The broadacre areas are intended to provide for future urban development, but also are for the siting of activities requiring clearance zones or protection from conflicting development.

6. Adverse impacts of development on surrounding uses (both within a site and on adjoining sites) is minimised.

Provide appropriate amount of parking, separation from adjacent uses etc.

Access and Movement

7. The functionality and layout of the development is accessible and adaptable, while achieving good connections with the surrounding area. This includes consideration of passive surveillance and active travel. **[Specification available]**

Provide accessible access and parking spaces, provide priority to pedestrians, ensure roads can accommodate any traffic generated by development.

Public Space and Amenity

8. The development achieves reasonable solar access and microclimate conditions to public areas and streets to support their use by the community.

Ensure that open spaces and rooms within the development have good solar access. Good street appeal and interface with surrounding spaces.

9. Any advertising or signs are suitable for their context and do not have a detrimental impact on the surrounding area (for instance due to size or light emission). **[Specification available]**

Any signage is appropriate and not repetitive or overly illuminated.

Built Form and Building Design

10. The height, bulk and scale of the development is appropriate, noting the desired zone policy outcomes. **[Specification available]**

The specification is that building height is not more than 2 storeys, but consideration could be made to slightly taller development on its merit.

Sustainability and Environment

11. Roofed areas and hard surfaces aim to reduce urban heat island effects, minimise stormwater run-off and maintain ecosystem services. This includes consideration of water sensitive urban design measures. **[Specification available]**

Specification requires that generally 20% of the site area to be permeable and that Development complies with the ACT Practice Guidelines for Water Sensitive Urban Design Module 2: Designing Successful WSUD Solutions in the ACT.

12. Threats to biodiversity such as noise, light pollution, invasive species incursion or establishment, chemical pollution, or site disturbance are avoided or minimised through good design.

Design needs to consider minimising any threats to biodiversity.

13. Minimise cut and fill to protect natural hydrological function and limit soil erosion and site disturbance. **[Specification available]**

Consider cut/fill requirements to minimise, provide erosion and sediment control plans.

14. The development considers, addresses and mitigates site construction and environmental risks, including natural features, topography, noise, bushfire, flooding, contamination, air quality or hazardous materials are appropriately considered for the site [Specification available]

Noise – use is not a noise generating use, road traffic noise may need to be considered.

Bushfire – site is in the bushfire prone area so must comply with the ACT Bushfire Management Standards and a bushfire assessment would be required.

Flooding – site is not subject to 1 in 100 year flooding.

Contamination – The sites are not on the Register of Contaminated sites, but an investigation would be appropriate to ensure there is no contamination from previous uses. Hazardous Materials – A hazardous materials assessment should be undertaken of existing buildings prior to demolition.

Stormwater – measures for retention and detention and quality may be required.

Natural features – trees and potential habitat.

Parking, Services and Utilities

15. The development provides appropriate end of trip facilities.

An assessment on the need for end of trip facilities should be included based on the number of staff and visitors and suitable end of trip facilities should be provided.

16. Vehicle and bicycle parking, access and egress sufficiently caters for the development while permitting safe and legible movement for all users (including pedestrians) and minimising visual impacts from the street or public space. This includes consideration of parking dimensions, the number of spaces provided, vehicle manoeuvrability and access routes [Specification available]

Appropriate amount of parking and vehicle manoeuvring should be provided on site subject to an individual assessment based on the staff, visitor and client ratios.

17. Waste is appropriately managed on site without having a detrimental impact on the surrounding area. [Specification available]

Development must provide for waste management in accordance with TCCS requirements.

18. The site is appropriately serviced in terms of infrastructure and utility services and any associated amenity impacts are minimised. [Specification available]

Services provided in accordance with utility provider requirements. All works associated with demolition comply with utility asset access and protection requirements.

Assessment Requirements

Assessment requirements set the mandatory development controls within specific zones or for specific development types. There are no relevant assessment requirements for development in this zone.

Subdivision Policy

The Subdivision Policy applies to development proposing subdivision, including unit title subdivision, boundary adjustments, consolidations and the creation of new blocks.

If subdivision or consolidation is proposed, this Policy will need to be addressed.

Similar to the Non-Urban Zones Policy there are Policy Outcomes, Assessment Outcomes and Assessment Requirements, that must be met.

Policy Outcomes

The policy outcomes for subdivision are:

1. An orderly pattern of subdivision which responds to its surrounds, zone outcomes and environmental features.
2. Functional and useable parcels of land that are well connected and serviced to relevant utilities, infrastructure and public spaces.
3. High quality social, planning and environmental outcomes.
4. Land that offers excellent future development opportunities suitable for the existing or proposed zone.

Development must respond to these policy outcomes through a demonstrated response to the Assessment Outcomes in the subdivision policy listed below.

Where land is released Territory land such as blocks 15 and 17, boundary adjustments can be made by the Territory Planning Authority. Blocks can also be created from unleased Territory land for the Territory by the Territory Planning Authority as a subdivision design application.

Assessment Outcomes

There are 24 assessment outcomes for subdivision, similar to the non-urban zones policy above.

Assessment Requirements

Mandatory requirements in the policy that may be relevant include:

1. Blocks within a bushfire prone area are not developed where the bushfire attack level is greater than BAL 29 for subsequent buildings.
4. Subdivision is only permitted where it is demonstrated that any residual block can accommodate another assessable development designed in accordance with the relevant provisions of this Policy and any district or zone policy.

Non Urban Zones Technical Specifications

The primary assessment consideration for a development application is the assessment outcomes in the Non-urban zones provided above. In demonstrating compliance with the assessment outcomes, consideration may be given to the relevant planning technical specifications which may serve as a benchmark. While all assessment outcomes are to be met, not all outcomes are covered by a specification.

The technical specifications do not have to be complied with but are considered a possible solution or to provide guidance on certain aspects.

These have been referenced above where relevant. They provide a baseline which would be relevant to adopt for a conservative test fit scenario.

Design Guides

Design guides sit outside the Territory Plan but must be considered by proponents for certain development types and sites.

The design guides should be considered at the early concept design stage of any proposal. The current design guides are (noting that more may be developed in future):

- [Biodiversity Sensitive Urban Design Guide](#) - this applies to sites over one hectare, Future Urban Areas, non-urban zones and PRZ1 Urban Open space, so would apply to blocks in the non-urban zone if the development includes an increase in impermeable surfaces of greater than 500m². Depending on the amount of permeable surfaces demolished and re-built on the site, this guide may or may not be applicable.
- [Housing Design Guide](#) - applies to all residential development except single dwellings - if the development is defined as *residential care accommodation*, and is not within a single dwelling, this design guide would apply.

- **Urban Design Guide** -applies to development of precinct scale with a site area larger than 1 hectare, combined GFA exceeding 10,000 sqm, more than 1000 sqm of public or common space, or proposals that need to seek advice from the design review panel – so it should not apply as while the development is on a block larger than 1 hectare, the development would not be of precinct scale.

Biodiversity Sensitive Urban Design Guide (BSUD)

This design guide provides guidance on biodiversity and ecological design matters. The guide is structured around four themes that align with the assessment outcomes in the Territory Plan.

The basic process recommended in the guide is as follows:

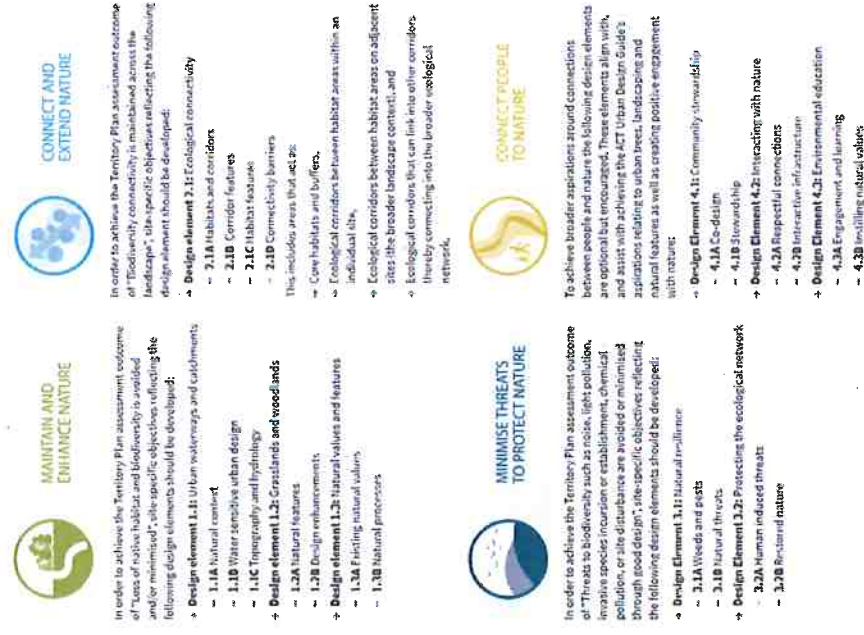
Step 1: Identification of site and surrounding Biodiversity values, assess ecological connectivity and assess threats to Biodiversity.

Step 2: Identify Site Specific Biodiversity Objectives that conserve Biodiversity values.

At each site, depending on scale, context, and the results of Step 1, the themes and design elements identified below should each be explicitly considered, and site-specific objectives based on each should be developed as relevant.

The guide states that in most cases an experienced local ecologist will be required to advise on the biodiversity values and outcomes and how design can meet the requirements. The process may require iterative review and modification to ensure that the design meets best-practice guidance on achieving the biodiversity outcomes.

The guideline states that for a site with no waterways, functional ecosystems, or high conservation value features, few of the following design elements may be relevant. In such instances the effect of development on values surrounding the site (such as connectivity between core habitat areas, or water quality outcomes in the broader catchment) is encouraged to be considered. The outcomes and elements that need to be considered are identified in the image below.



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Step 3: Design to achieve site specific biodiversity outcomes.

Development would need to include an ecological and tree assessment to identify ecological values and then any design would need to consider and respond to these assessments. ACTmap1 indicates that the sites contain potential threatened woodland.

A development application would need to provide a response to all the relevant BSUD outcomes identified in the Guide, such as retaining trees and habitat, using native species of trees or plants in landscaping and providing habitat and connectivity to the surrounding land would need to be considered.

Housing Design Guide

Residential development, excluding single dwelling housing and secondary residences are required to consider and provide a design response to the Housing Design Guide. If development is considered to be for residential care accommodation a response to this guide would need to be provided.

The Housing Design Guide requires a design response to a variety of factors as indicated by the Table of Contents from the guide provided below.

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Other considerations

ACTMapi identifies the following:

- The blocks are within the bushfire prone area, therefore development for a new mental health facility would be expected to be considered a sensitive use development and required to meet the ACT Bushfire Management Standards 2023 for sensitive use developments and require approval from ESA Commissioner. Advice from a bushfire consultant would be required to identify the necessary Asset Protection Zone requirements etc.
- The blocks are outside the 1% AEP Flood Model extent.
- There are no nominated, provisional or registered Heritage values on the sites, but areas that have not previously been developed (Block 17) may require heritage assessment to determine whether there are any heritage objects or places in areas proposed for work.
- There are no registered trees on the site.
- There are trees that may meet the threshold for protection under the Urban Forest Act.
- There is an easement for access in Block 16 which provides that the Lessee shall at all times permit the Lessee of Block 15 to pass and re-pass through the easement and no buildings or structures can be built within the easement.
- Blocks 15, 16 and 17 are all identified as having potential threatened woodland.
- Block 17 has potential for rare invertebrates.

Summary

Blocks 15, 16 and (part) 17 Section 49 Symonston are all Territory land zoned NUZ1 Broadacre. Block 15 is currently unleased land in the custodianship of JACS. Block 17 is unleased land in the custodianship of EPSDD Parks and Conservation Services. Block 16 is held under an Executive Lease to the Australian Capital Territory.

All the sites are shown as having potential threatened woodland, and so trees and ecological values of the site need to be considered in any planning for development, and BSUD requirements would need to be incorporated into design.

The sites are all in the bushfire prone area and would need to meet the ACT Bushfire Management Standards 2023 for sensitive use developments and require approval from ESA Commissioner. Advice from a bushfire consultant is required.

Clarification of the definition and permissibility of the proposed use needs to be undertaken and it is recommended that ACT Health seeks formal advice from the Territory Planning Authority as the permissibility of the use on these sites is ambiguous.

A 'Mental health facility' for in-patients is generally considered to fall under the definition of hospital/ however hospital is a prohibited use within the NUZ1 Broadacre zone.

Development of this type of facility would only be considered permissible on Blocks 15 or 17 if it is determined that the use (model of care) can either be defined as *residential/ core accommodation or complementary use*, otherwise an amendment to the Territory Plan would be required.

Consideration could be made to utilising the adjacent Block 16 Section 49 Symonston which is the site of the Dhulwa Mental Health Facility. This block has an additional assessable development for 'mental health facility' included in the East Canberra District Policy.

Therefore, a new development for a 'mental health facility' would be permissible on Block 16, albeit 'mental health facility' use is not defined in the current Territory Plan.

As blocks 15 and 17 are unleased land, there may be an opportunity to consolidate blocks, adjust the block boundaries or create a new block.

There are very few specific planning controls for the Broadacre zone in the new Territory Plan, so providing the use is permissible, it would need to respond to the assessment outcomes in the Non Urban Zones Policy, and would be assessed on its merits against the identified policy outcomes.

Site 2: Block 12 Section 102 Symonston

Site Details

Block 12 Section 102 Symonston is an irregular block 6.3 hectares in area fronting Narrabundah Lane. It is currently undeveloped containing grassland and a number of trees.

The block is predominantly bound by Block 11 Section 102 Symonston to the south and west by Callum Brae Nature Reserve.

Aerial photography suggests that the block was once an equestrian facility.

Land tenure

The site is unleased Territory land in the custodianship of EPSDD Parks and Conservation.

District Strategy

The ACT District Strategies are policy documents which provide the vision to manage growth and change in the ACT over the next 15 years and seek to deliver the directions of other key ACT policy documents. They sit below the ACT Planning Strategy and provide guidance for future change in each of the urban districts.

This site is identified as within the Eastern Broadacre Study area which is in the process of a Strategic Assessment under part 10 of the EPBC Act. The Strategic Assessment process will make decisions about land that is potentially available for development and land that will be reserved under the EPBC Act.

The site is identified in the District Strategy as within a Category 3 change area (change could happen within 0-15 years). It is understood that following completion of the Strategic Assessment this site may be subject to rezoning or redevelopment opportunities for industrial or employment land. However the completion of this process is still some time away.

EPBC Consideration

The *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) is the Commonwealth Government's primary legislation for the protection of matters of national environmental significance (MNES). It provides a legal framework to protect and manage nationally and internationally important flora, fauna, ecological communities and heritage places.

EPBC matters need to be considered prior to local planning matters as decisions under the EPBC Act can affect local planning pathways. Approvals under the EPBC Act are additional to any approvals required under Territory Legislation.

The site is within the Eastern Broadacre Strategic Assessment Study area, this is an area identified for potential future employment, industrial and related uses. The Eastern Broadacre area extends from the Majura Valley to Hume and includes part of Symonston and the Jerrabomberra Valley. A Strategic Assessment is being undertaken under the EPBC Act to assess impacts to MNES over the whole area. This process is on-going, ecological investigations would have been undertaken, or are on-going and the ACT Government is in the process of preparing a program and assessment documentation to provide to the Commonwealth.

The site and its surrounds contain trees which may have potential to provide habitat or values for matters which could be protected under this Act. Therefore ecological advice would be required to determine the potential requirement for consideration of matters which may require referral or assessment under the EPBC Act. ACTmap1 indicates the site may contain Hoary Sunray (*Leucachrysium albianus*) (listed as endangered under the EPBC Act). Given the environmental values and that the site is adjacent to an existing nature reserve, it is possible that Block 12 will be identified as an environmental offset area to facilitate development on other lands within the Eastern Broadacre Area.

The Strategic Planning team at EPSDD are working on the Strategic Assessment and enquiries could be made to determine whether data from ecological assessments undertaken as part of the Strategic Assessment work could be provided to ACT Health.

National Capital Plan (NCP)

The National Capital Plan (NCP) secures the Australian Government's continuing interest to ensure that Canberra and the Territory are planned and developed in accordance with their national significance. The NCP prevails over the Territory Plan, and the Territory Plan cannot be inconsistent with the NCP.

The NCP maintains a broad oversight of planning in the Territory and importantly an interest in the planning, design and development of those areas having the special characteristics of the National Capital.

The NCP identifies the sites as being within the Broadacre area identified in the NCP. In the Broadacre areas Community Facility Use is permitted and as per the other sites in Symonston considered above, the uses that would support a mental health facility are permitted in the Broadacre areas in the NCP.

Planning Jurisdiction

The subject area is not Designated Land or National Land, so the block is Territory Land where the ACT Government Environment, Planning and Sustainable Development Directorate (EPSDD) are the relevant planning authority. Approvals would be assessed against the requirements of the *Planning Act 2023*.

Planning Act 2023

The considerations under the Planning Act, 2023 as provided above, would also apply to this site for the proposed use.

Work for a new mental health facility would be considered development and require development approval.

Development would be considered significant if an EIS is required. It is not considered that design review would be required.

Significant Development

Development is significant if it requires any of the following (s94):

- a subdivision design application (a subdivision development proposal also includes consolidation, creation or removal of roads, or landuse zoning etc) (s43) (unlikely to apply unless subdivision or consolidation are proposed).
- consultation with the design review panel (s100) as a prescribed development proposal which includes:
 - a building with 5 or more storeys
 - a proposal to increase the floorspace of a shop by more than 2,000m² if the shop is located within certain zones (not applicable – a proposal of this type should not require consultation with the Design Review Panel)
- an environmental impact statement (EIS) (s105) (refer to discussion below)

Environmental Impact Statement

An EIS is required for a development proposal if (s105):

- prescribed by regulation (refer to discussion below)
- the Minister makes a Declaration (s106) (not applicable)
- The Commonwealth Minister for the EPBC Act advises the proposal is a controlled action but may be assessed under the Act because of a bilateral assessment agreement (unlikely to be applicable, but may be relevant if likely to be significant impacts to EPBC listed matters)

- (d) The Health Minister makes a Declaration during notification of the DA (not applicable).
However, an EIS is not required if an Environmental Significance Opinion (ESO) is given for the proposal.

Development proposals that require an EIS are identified in Schedule 1 of the Planning (General) Regulation 2023 (s12). There are 25 items identified; items 1-15 are for specific project types such as waste facilities, infrastructure projects, airports and the like which would not be relevant.

Items 16-25 are for areas and processes which can be more broadly applicable and are listed below:

16. significant impacts on listed species or ecological communities **(may be applicable, but can be negated if an ESO is provided)**
17. clearing more than 0.5 ha of native vegetation **(may be applicable, but can be negated if an ESO is provided)**
18. development in a reserve that is not minor public works (not applicable – the site is not in a reserve)
19. impacts on water supply catchment (not applicable)
20. significant water extraction (not applicable)
21. significant impact on heritage place or objects (not applicable – the site does not contain listed heritage objects or places)
22. work on research sites outside the urban area (not applicable)
23. work on sites that are on the register of contaminated sites (not applicable)
24. annual greenhouse gas emissions exceeding 250t (not applicable)
25. proposal likely to result in a key threatening process under the Nature Conservation Act, which includes the loss of mature native trees and/or habitat fragmentation. (note that this is a new requirement under the *Planning Act 2023* and may require clarification from the Conservator if any mature native trees are proposed for removal – **(may be applicable, but can be negated if an ESO is provided)**)

Consideration would need to be made to potential ecological values of trees or habitat on the site (and surrounds) and the development footprint to determine whether an Environmental Significance Opinion would be required in relation to any of the potentially applicable items. Noting that impacts to trees and habitat should be avoided where possible.

It is noted that ACTmap1 identifies a number of potential values on the site including:

- Native grassland
- Potential threatened woodland
- Threatened, protected and rare plants

Territory Priority Project

As per above, the TPP process might be relevant for projects associated with the new Northside Canberra Hospital Redevelopment.

Consultation

Mandatory pre-DA consultation is no longer required under the Planning Act 2023, but consultation with nearby leasees and the local community council would be appropriate prior to any DA.

National Capital Design Review

A development for a new mental health facility would not be expected to trigger design review.

Third Party ACAT Review

Development for a new mental health facility in this location would not be exempt from Third Party Review unless the project was considered a Territory Priority Project.

Section 186 Considerations when deciding a Development Application

Section 186 of the Planning Act provides considerations when deciding DAs, these include:

- if the site of the proposed development adjoins another zone—whether the development proposal achieves an appropriate transition between the zones;
- the suitability of the proposed development in the context of the site and the site surrounds, including the permissible uses for those areas;

All the adjoining land is all zoned NUZ1 Broadacre and therefore no demonstration of transition between zones would be required.

- the suitability of the proposed development in the context of the site and the site surrounds, including the permissible uses for those areas;

Any development has to be considered suitable for the site and its surrounds this includes that the use is permissible on the land.

Territory Plan 2023

The block is zoned NUZ1 Broadacre.

Permissible uses

As above, permissible uses in the NUZ1 Broadacre zone that may be relevant include:

- Residential care accommodation
- Health facility
- Complementary use

Advice from the Territory Plan team in EPSDD is that a 'mental health facility' would fall under the definitions of either hospital or health facility, depending on whether it was for in-patients or not. However, Hospital is not a permitted use in the zone and the use would not fit under the definition of health facility. Mental health facility is not defined in the Territory Plan, 2023.

Clarification of the definition and permissibility of the proposed use would need to be undertaken and formal advice sought from the Territory Planning Authority as the permissibility of the use is ambiguous. Refer to discussion above.

Overlays

There are no applicable overlays on the Block.

East Canberra District Policy

There are no additional assessable or prohibited development listed in the East Canberra District Policy for Block 12 Section 102 Symonston.

There are no additional assessment requirements that apply to the Block in this Policy.

Non-Urban District Policy

The site is within the area subject to the East Canberra District Policy and therefore the Non-Urban District Policy is not considered relevant.

Non-Urban Zones Policy

The policy outcomes and assessment outcomes for development are the same on this Block as provided above for the other Broadacre blocks in Symonston and there are no mandatory assessment requirements that apply to this site.

The following site constraints and features are relevant to Block 12 Section 102 Symonston:

Noise – road traffic noise is unlikely to be a consideration on Narrabundah Lane.

Bushfire – the site is in the bushfire prone area so must comply with the ACT Bushfire Management Standards and a bushfire assessment would be required.

Flooding – site is not subject to 1 in 100 year flooding.

Contamination – The site is not on the Register of Contaminated sites, but a preliminary site investigation would be appropriate to ensure that there is no contamination from previous uses.

Natural features – the site contains trees and potential threatened species and habitat.

Subdivision Policy

The Subdivision Policy applies to development proposing subdivision, including unit title subdivision, boundary adjustments, consolidations and the creation of new blocks.

If subdivision or consolidation is proposed, this Policy will need to be addressed. Details are included above.

Design Guides

As for the sites above, as the site is within the NUZ1 Broadacre zone, a non-urban zone, the Biodiversity Sensitive Design Guide would be required to be considered for development on the site. Details on the BSUD Guide are included above.

If the use is determined to be for residential care accommodation a development proposal would need to provide a response to the Housing Design Guide.

Other considerations

ACTMapi identifies the following:

- The block is within the bushfire prone area, therefore development for a new mental health facility would be expected to be considered a sensitive use development and required to meet the ACT Bushfire Management Standards 2023 for sensitive use developments and require approval from ESA Commissioner. Advice from a bushfire consultant would be required to identify the necessary Asset Protection Zone requirements etc.
- The block is outside the 1% AEP Flood Model extent.
- There are no nominated, provisional or registered Heritage values on site.
- There are no registered trees on the site.
- There are trees that may meet the threshold for protection under the Urban Forest Act.
- Potential ecological values include:
 - Native grassland
 - Potential threatened woodland
 - Threatened, protected and rare plants

Summary

Block 12 Section 102 Symonston is unleased Territory land zoned NUZ1 Broadacre in the custodianship of EPSDD Parks and Conservation Services.

The site is within the Eastern Broadacre Strategic Assessment area, so decisions about the use of the land may not be possible until this assessment is complete.

The block is identified as having potential for threatened woodland and protected plants therefore the ecological values of the site need to be assessed in any planning for development, and the Biodiversity Sensitive Urban Design requirements would need to be incorporated into design.

The site is in the bushfire prone area and would need to meet the ACT Bushfire Management Standards 2023 for sensitive use developments and require approval from ESA Commissioner. Advice from a bushfire consultant is required.

Clarification of the definition and permissibility of the proposed use needs to be undertaken and formal advice from the Territory Planning Authority on this is recommended to ensure the use would be permissible. Hospital is not a permitted use in the NUZ1 Broadacre zone, and this is considered to be the appropriate terminology for the use. So unless it can be defined as residential care accommodation or complementary use, an amendment to the Territory Plan would be required.

There are very few specific planning controls for the Broadacre zone in the new Territory Plan, so providing the use is permissible, it would need to respond to the assessment outcomes in the Non Urban Zones Policy, and would be assessed on its merits against the identified policy outcomes.

Closing

This summary is valid at the date of writing, and I trust that this meets your requirements. If you have any questions, please contact me via e-mail or telephone (0402 062 627).

Sincerely



Hope Watson RPIA
Environmental and Town Planner

Appendix 3 - Schedule of Accommodation Johnstaff

CANBERRA NORTHSIDE SECURE MENTAL HEALTH
SCHEDULE OF ACCOMMODATION - DRAFT

Date 05/02/2024

SPACE	QTY	AREA	TOTAL AREA	NOTES	REFERENCE
SECURE MENTAL HEALTH - GAWANGAL					
Entrance					
Airlock - Entry	1	10	10		AusHFG
Waiting	1	10	10		AusHFG
Toilet - Accessible	1	6	6		AusHFG
Property Bay - Visitors	1	2	2		AusHFG
Lounge - Patient/Family/Carer	1	15	15		AusHFG
Pod A (2 Bay)					
1 Bedroom - Mental Health, Accessible	2	17	33		AusHFG
Ensuite - Mental Health - Accessible	2	7	14		AusHFG
Living/Dining	1	25	25		AusHFG
Pod B (2 Bay)					
1 Bed Room - Mental Health	2	16	32		AusHFG
Ensuite - Mental Health	2	5	10		AusHFG
Living/Dining	1	25	25		AusHFG
Pod C (2 Bay)					
1 Bed Room - Mental Health	6	16	96		AusHFG
Ensuite - Mental Health	6	5	30		AusHFG
Lounge/Dining	1	60	60		AusHFG
Kitchen - Mental Health	1	16	16		AusHFG
Sensory Modulation Room	1	12	12		AusHFG
Toilet - Accessible	1	6	6		AusHFG
Staff/Consumer Interface	1	14	14		AusHFG
Interview Room - Mental Health	1	14	14		AusHFG
Consult Room	1	14	14		AusHFG
Office - Single Person, 9m2	2	9	18		AusHFG
Clean Utility/ Medication Room	1	16	16		AusHFG
Bay - Linen (Clean)	1	2	2		AusHFG
Bay - Linen (Dirty)	2	1	1		AusHFG
Bay - Meal Trolley	1	4	4		AusHFG
Cleaner's Room	1	5	5		AusHFG
Dirty Utility, Sub	1	8	8		AusHFG
Disposal Room	1	8	8		AusHFG
Store - Equipment	1	12	12		AusHFG
Bay - Handwashing, Type B	3	1	3		AusHFG
Bay - Telephone	1	1	1		AusHFG
Laundry - Mental Health	2	6	12		AusHFG
Multifunction Group Room	1	30	30		AusHFG
Activity / Therapy Room	1	20	20		AusHFG
Indoor Exercise Room	1	22	22		AusHFG
Store - Patient Property	1	8	8		AusHFG
Staff Zone					
Office - Shared, 12m2	2	12	24		AusHFG
Office - Workstation	13	4	57		AusHFG
Staff Room	1	20	20		AusHFG
Waiting room	1	20	20		AusHFG
Property Bay - Staff	2	3	6		AusHFG
Toilet - Staff	1	3	3		AusHFG
Shower - Staff - combined shower toilet	1	4	4		AusHFG
Toilet-Staff Accessible	1	6	6		AusHFG
NSW/NTJH/MS					
Allowance - External Loading Area	1	1	100		AusHFG

AREA : SUB TOTAL	854
Circulation	0
GDA (Rooms + Circ)	1128
Engineering	0
GDA (GDA + Engineering)	1444
Planning Contingency	0
AREA TOTAL	1588

OUTDOOR AREAS	
Courtyard	
Courtyard - Outdoor Dining, Activities	1
Courtyard - Outdoor Dining, Activities	1
Courtyard - Staff	1
AREA - OUTDOOR - SUB TOTAL	3
AREA TOTAL	1708

Shared with pod A and B. **Decreased size due to bed base (prorated).**
Pod C. BBA area (near ADL kitchen), tables and chairs, sink, exercise area and walking paths. **Decreased size due to bed base (prorated)**

Appendix 4 - Services Engineering Report

ARUP

Due Diligence

Scope of Assessment

This due diligence assessment focuses on identifying the engineering constraints and opportunities associated with two sites that are currently being considered for the relocation of the Gawanggal secure mental health unit. The two sites are:

- Symonston Block 15, Section 49 (and surrounding area) (Site 2)
- Symonston Block 12, Section 102 (Site 3).

While the two sites are both located within the suburb of Symonston, the due diligence assessment has treated them independently (except for the geotechnical assessment) to better reflect their differing characteristics.

A third site (Site 1) within the North Canberra Hospital campus has also been considered as part of the architectural test fit. However, as this site has previously been assessed by the Technical Advisor, no further documentation has been provided here.

The desktop due diligence assessment includes:

- Desktop study of available services, topographic, flooding, geotechnical and contamination information
- Documentation of findings in this Due Diligence Report.

The following sources of information were reviewed as part of the due diligence assessment.

Source	Type	Date accessed
Topography		
ACTmap Viewer	Aerial Imagery	December 2023
ACT Government ProjectWise, TCD Grid Inventory	TCD Grid	December 2023
Elvis – Elevation and Depth – Foundation Spatial Data	Digital Elevation Model – DEM	December 2023
Services		
Before You Dig Australia (BYDA)	Underground services data	December 2023
Geotechnical		
Abell, 1992. Canberra 1:100,000 scale geological map, 8727, 1st Edition	Geological map	January 2024
Jenkins, 2000. Soil Landscapes of the Canberra 1:100,000 Sheet map and report, Department of Land and Water Conservation	Soil landscape map and report	January 2024
Muller et al, 2017. Hydrogeological Landscapes of New South Wales and the Australian Capital Territory, Office of Environmental and Heritage	Hydrogeological landscape map and report	January 2024
ACT Groundwater Abstraction Bores	ACT Government Online Maps and Apps (ACTmap)	January 2024
Bureau of Meteorology, Groundwater Dependent Ecosystems Atlas	Bureau of Meteorology online atlas web viewer	January 2024
Proposed Secure Mental Impatient [sic] Unit, Block 11 Section 49 Symonston Act. Geotechnical Investigation Report, February 2014.	ACT Geotechnical Engineers Pty Ltd	January 2024
Contamination		
Loisearch LS050983 EP - 2 Mugga Lane, Symonston, ACT 2609	Contaminated land register, aerial imagery, EPA Authorisations, Planning Constraints	December 2023
Loisearch LS050984 EP - 94 Narrabundah Lane, Symonston, ACT 2609	Contaminated land register, aerial imagery, EPA Authorisations, Planning Constraints	December 2023
Noise		
ACT Noise Zone Map	ACT Government Online Maps and Apps (ACTmap)	January 2024
Existing site map	Google maps	January 2024

Site 2

Site Overview

Site 2 refers primarily to the site managed by the Justice and Community Services (JACS) Directorate at 20 Mugga Lane, Symonston Block 15, Section 49. However, the full study area extends to the surrounding sites:

- 30 Mugga Lane, Symonston Block 16, Section 49 – Dhulwa Secure Mental Health Unit, operated by Canberra Health Services
- Adjacent areas of Mount Mugga Mugga Nature Reserve, Symonston Block 17, Section 49

Symonston is largely a light industrial and agricultural suburb located in south Canberra. North Canberra Hospital is located approximately 11.5 km north-northwest of Site 2, on the opposite side of Lake Burley Griffin and central Canberra. However, Canberra Hospital is located approximately 3 km west of Symonston in the Woden Valley and is accessible via a major arterial, Hindmarsh Drive, to the north of Mount Mugga Mugga.

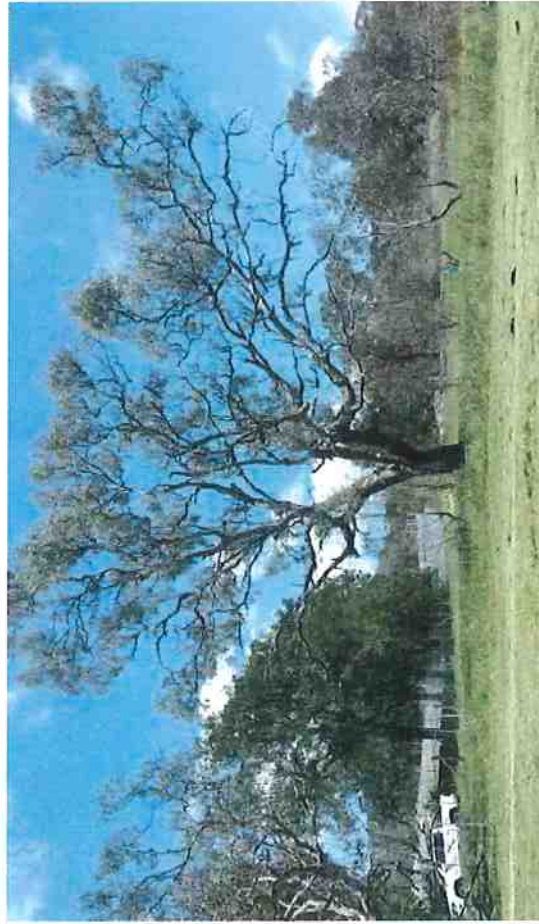


Figure 1: Photo taken from Mugga Lane, looking southwest along boundary fence of the JACS site and Dhulwa towards Mount Mugga Mugga (10 January 2024)

Topography

Site 2 is located 1 km to the east of Mount Mugga Mugga, which peaks at approximately 800 m above Australian Height Datum (AHD). Within the study area, the site slopes from around 640 m AHD at the western boundary of Dhulwa down to around 624 m where the JACS site fronts Mugga Lane, as illustrated in Figure 2. A retaining wall along the rear of the Dhulwa site is visible from Mugga Lane, providing evidence of some levelling and earthworks.

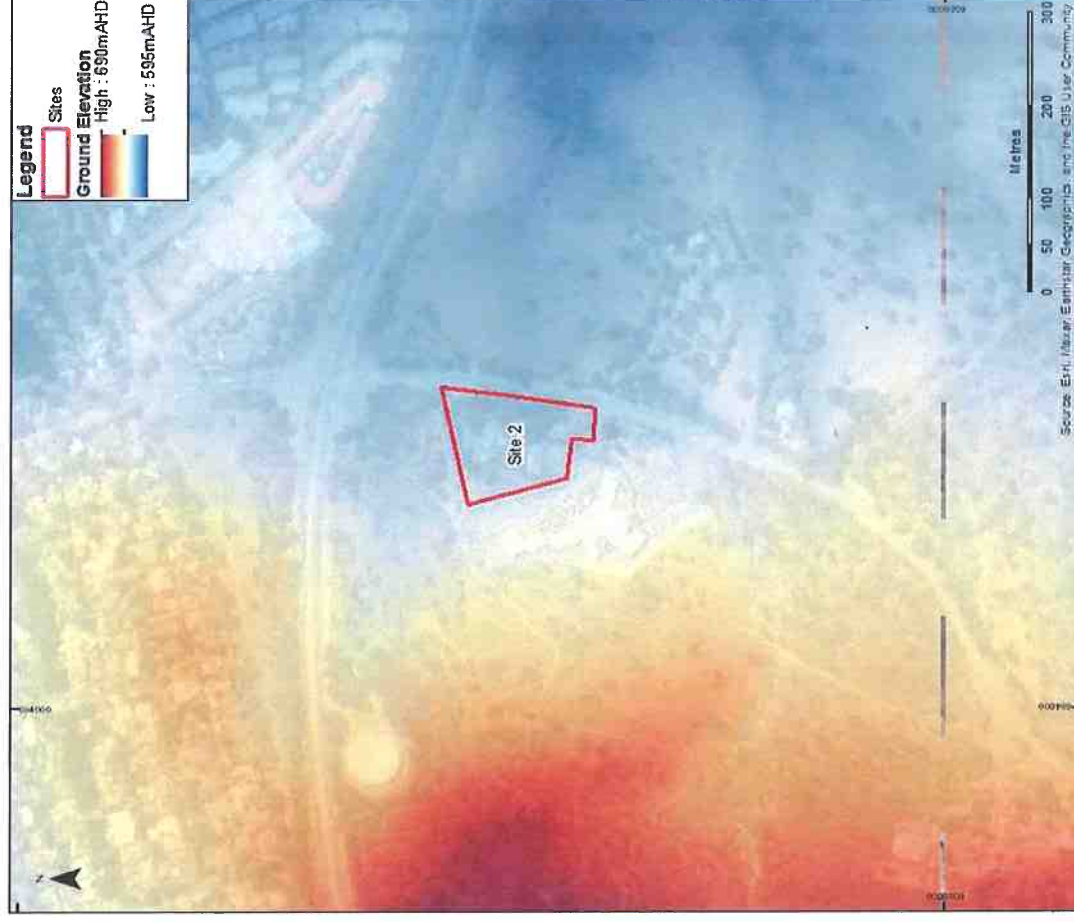


Figure 2: Topography, Site 2 (centred on Symonston Block 15, Section 49)

Flooding

The site is both located away from any mapped watercourses or identified flooding due to its location relatively high in the catchment. The available LIDAR information indicates that the site is situated between two minor watercourses. However, overland flow may nonetheless cross the site from the upstream external catchment area (7 ha) directly to the west of the site (refer Figure 11). Overland flows may also be generated within the adjacent external catchment areas to the north (13.7 ha) and south (22.3 ha) of the site.

It is recommended that the building floor levels be outside the 1% AEP local overland flow extents (with a suitable freeboard) to ensure safe occupation of the building. Consideration should also be given to rarer events such as the Probable Maximum Precipitation (PMP) storm, and ensuring flows associated with these extreme events can be managed.

Overland flow paths will need to be maintained to ensure that stormwater flow can either bypass the site or be conveyed through the site in a safe manner. Bypassing these overland flow paths can be done with conventional drainage assets, such as pipes, channels or swales. It may also present landscaping opportunities using natural channel design principals to enhance the area.



Figure 3: Existing flow paths through the potential mental health site

With appropriate controls in place, the flood risk can be managed. These controls are expected to include:

- Consideration of a range of storm events, including extreme events.
- Preservation of the overland flow paths to ensure that the flow can bypass the site.
- Consideration of flooding as part of the emergency response plan.
- Habitable areas outside the 1% AEP stormwater extents, and with suitable refuge outside the extent the PMP stormwater extent.

An emergency response plan that addresses flooding or severe storm events should be considered for the site.

Noise and vibration

The Symonston Block 15, Section 49 site is bounded by Mugga Lane to the east, Hindmarsh Drive to the north, and greenfield to the west and south.

The nearest off-site land uses potentially affected by noise from site development are the low-level residential dwellings along Mugga Lane (approximately 150 m east) and the townhouses on the opposite side of the Hindmarsh Drive (approximately 250 m northeast).

It is anticipated that the noise and vibration that would be generated by future facility operations would not have an adverse impact to the nearest sensitive receivers due to the distances of the receivers from the facility.

However, it is recommended that further noise assessments on potential noise impacts from the following be undertaken is the site is selected:

- Aircraft movements from Canberra airport
- Road traffic movements and vehicle noise along Mugga Lane and Hindmarsh Drive.

The findings from these assessments may influence the building envelope design for the mental health facility.

Contamination

The purpose of this contamination due diligence assessment is to summarise the desktop findings and identify contamination risks (if any) that may impact the feasibility of further development on the site. The due diligence assessment is limited to details provided within the Lotsearch report.

For the purposes of the Lotsearch request, the contamination desktop due diligence centres on Symonston Block 15, Section 49, though the buffer area includes the surrounding blocks.

Site history

Based on the Lotsearch Report, the findings of a number of database searches potentially indicating contamination at the Site are summarised within Table 1.

Table 1: Potentially contaminating activities identified from Lotsearch report

Database	Description
ACT EPA contaminated sites management database and geographic information system (refer Lotsearch report)	The search indicated that the Site is or was occupied by community facilities. As noted within the search: "Community facilities prior to the introduction of natural gas to the ACT in the 1980's, utilised boiler heating or similar systems. These systems were generally fuelled by diesel or heating oil which was mainly stored in underground fuel storage tanks." In summary, underground fuel storage is listed as an activity associated with potential land contamination at the Site.
ACT EPA Register of Contaminated Sites database	The Precinct, a cluster of residential properties undergoing redevelopment 405 m to 750 m northwest of the Site, are listed as either current or former Contaminated Sites on the EPA Register.
National Waste Management Site Database (waste management and liquid fuel facilities)	None identified within 1000 m of Site.
Defence PFAS Investigation and Management Program Management Sites	None identified within 1000 m of Site.
Airservices Australia National PFAS Management Program	None identified within 1000 m of Site.
Defence Controlled Areas	None identified within 1000 m of Site.
Defence 3 Year Regional Contamination Investigation Program	None identified within 1000 m of Site.
National Unexploded Ordnance (UXO) Register	None identified within 1000 m of Site.
EPA Authorisations: Activity 7, Placement of soil on land	Remondis Australia Pty Ltd is listed as having a current EPA Authorisation allowing the placement of soil on land (ID 1234) 761 m south west of the Site. Canberra Contractors Pty Ltd (ceased) and Dale & Hitchcock Civil Engineering and Landscaping (expired) are listed for the same authorisation and location. This EPA Authorisation currently allows Remondis Australia Pty Ltd to conduct the following activity: "the acceptance of more than 100m3 of soil for placement on land by a lessee (or for land under a land sublease, the sublessee) or occupier of the land if the land is in— (a) an area identified in the territory plan as land in any of the following zones: Broadacre; Rural; Hills, Ridges and Buffer; River Corridor; Mountains and Bushland; or (b) an area identified in the territory plan as an area where plantation forestry is permitted subject to development assessment; or

Database	Description
	(can area identified in the national capital plan as any of the following: Broadacre Areas; Rural Areas; Hills, Ridges and Buffer Spaces; River Corridors; Mountains and Bushland"
EPA Agreements: Management of Contaminated Land	Education and Training Directorate located 623 m north of the Site is listed as having a current EPA Agreement for Management of Contaminated Land (ID 2017-001)
Historical business directories	Plant hire services and a butcher (road match only – specific addresses unknown)
Dry Cleaners, Motor Garages & Service Stations 1950-1991 business directories	Motor garage / BP service station 296 m from Monaro Court (road match only – specific addresses unknown)
Notes:	
PFAS: Per- and Poly-fluoroalkyl substances	
EPA: Environment Protection Authority	

A review of historical aerial imagery and maps was also undertaken for the Site, encompassing maps and imagery of the Site from as early as 1914 (first historical map) and 1944 (first historical aerial imagery). A summary of the findings is as follows:

- The Site appeared undeveloped, vacant grassland/bushland until circa 1967, when a portion of the Symonston Correctional Centre (a building and associated driveway) appeared within the Site. A number of rural properties were present to the southeast of the Site from earliest aerial imagery in 1944.
- By 1960, an above ground storage tank (AST) labelled 'Reservoir' (likely a water tank) was evident northwest of the Site along with an unsealed road.
- By 1967, Mugga Lane had been upgraded along with Hindmarsh Drive. Low density residential developments were apparent beyond Hindmarsh Drive to the north.
- Two quarries were visible in the 1987 historical map, however they were a significant distance from the Site (approximately 1 km southwest and 1.6 km south).
- By 1992, seven additional buildings had been constructed within the Symonston Correctional Centre, along with landscaping, paths, a carpark and sports courts, with the front portion of the Site in the same configuration as current day.
- Between 2004 and 2009 a number of additional buildings were constructed, as well as landscaping, paths and carparks at the rear and to the south of the Site, that appeared to be associated with the Symonston Correctional Centre.
- By 2015 the land to the rear and to the south of the Site was cleared (including two buildings within the Site boundary). In 2017, the Dhuwra Mental Health Unit was developed in that area, with four large structures, a carpark and landscaping in the same configuration as current day.

Potential sources of contamination

Based on the findings of this high-level review, several potential contamination risks have been identified that may impact on the development of the site. An initial risk rating has been determined using the matrix shown in Table 2.

Table 2: Environmental risk matrix

Likelihood	Consequence level			
	Insignificant	Minor	Moderate	Major
Almost Certain	Medium	Significant	High	Critical
Likely	Medium	Medium	Significant	High
Possible	Low	Medium	Medium	Significant
Unlikely	Low	Low	Medium	Significant
Rare	Low	Low	Low	Medium

It is noted this assessment is limited to only to details provided within the Lotsearch report). Table 3 has been developed to identify high-level contamination risks / red flags considered to potentially pose a risk to the development of the Site for the Workstream 2 Project. The contamination risks identified within Table 3 are considered general in nature, and no linkages to any project design have been interpreted.

A full Preliminary Site Investigation (PSI), in accordance with the ASC NEPM and complete with a conceptual site model (CSM), should be undertaken to further develop the understanding of the contamination risks the Site poses to the proposed Project, as well as to further assess the findings identified within this high-level assessment.

Table 3: High-level potential contamination risks

Risk / Potential contamination source	Description	Potential consequence	High-level risk rating	Recommendations
Underground storage tanks (USTs)	The potential for USTs to be present at the Site was identified within the ACT EPA contaminated sites management database.	It is unknown if harmful contaminants/chemicals have been/are stored within USTs, or where (if any) USTs are present within or nearby the Site. Incorrect handling/storage procedures may release the UST contents into localised environment	Medium	Further assessment to confirm presence and contents of USTs within the Site In the event potential contamination identified from the USTs, undertake intrusive investigation to characterise the contamination impacts and risks arising from the USTs. This may include targeted soil and groundwater sampling
Uncontrolled importation of fill	Significant earthworks were noted during the development of the neighbouring Dhulwa Mental Health Unit in the rear portion of the Site, which has been constructed by 2017. During these earthworks, fill material of unknown quantity and quality may have been imported to the Site.	- Potential soil contamination that may pose a risk to human health (current and future site users), construction workers and ecological receptors - Waste soil disposal costs during Project construction (if imported material is deemed to be contaminated)	Low	Assess soil quality and contamination status during future ground investigations at the Site (i.e. non-targeted soil sampling)
Demolition of historic buildings	Two buildings within the Site constructed before 1992 were demolished in 2015. The presence of ACM in buildings and structures constructed prior to the 1990s was considered likely. In addition, other contaminants associated with buildings materials, such as lead and PCBs, may be present if wastes were improperly managed during demolition of buildings and structures.	- Potential soil contamination that may pose a risk to human health (current and future site users), construction workers and ecological receptors - Waste soil disposal costs prior to Project construction (particularly if asbestos is identified on the Site) - Potential costs associated with asbestos abatement	Low	Assess soil quality and contamination status during future ground investigations at the Site (i.e. non-targeted soil sampling)
Historical agricultural land uses associated with grazing activities	The Site was located adjacent to rural buildings and may have been used for historical grazing activities prior to development into the Symonston Correctional Centre.	Potential soil contamination that may pose a risk to human health (current and future site users), construction workers and ecological receptors	Low	Assess soil quality and contamination status during future ground investigations at the Site (i.e. non-targeted soil sampling)

Electrical

Communications

The site is well serviced by communication carriers with multiple vendors available at the site perimeter. Communications cables appear to enter the site from the north, and then distribute internally to the various buildings. A below ground services survey will be critical to confirming location of existing services.

It is anticipated that communications connectivity will not be a constraint for further development on the site.

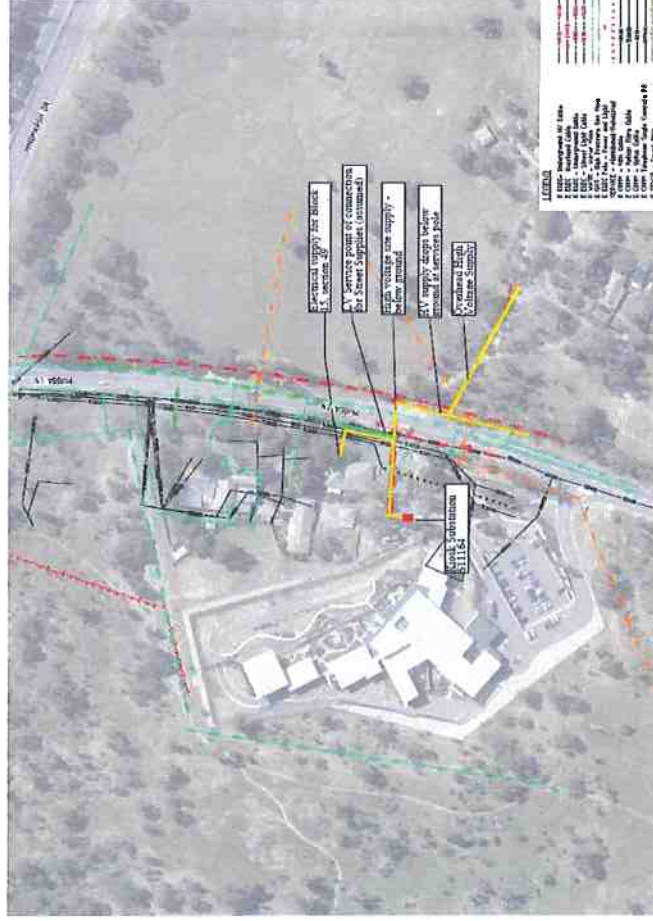


Figure 5: Communications carrier assets

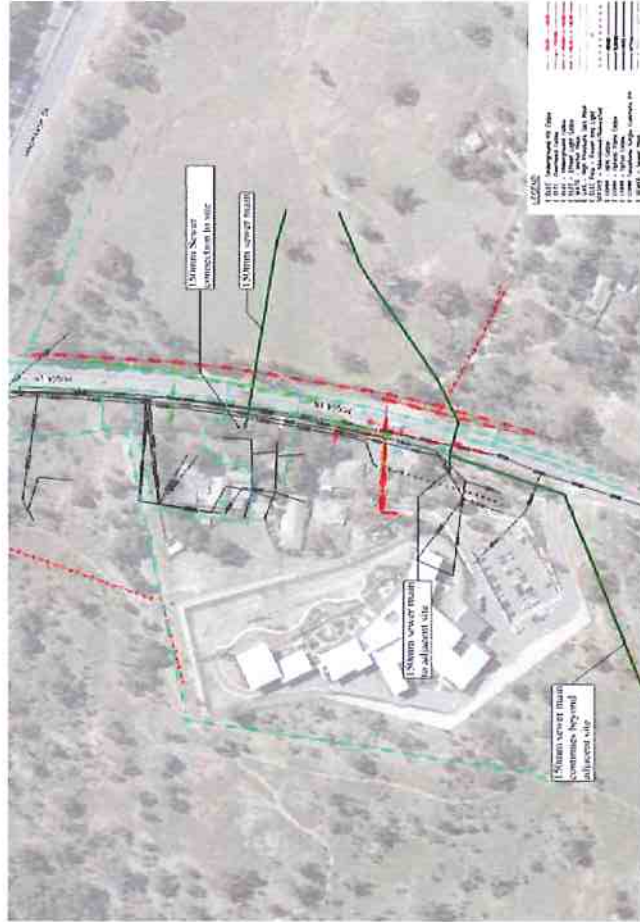
Figure 5: Communications carrier assets

water main is anticipated if it is not required for relocation from Icon Water. The site can be serviced by the 150mm water main in Mugga Lane. The size and capacity of the 150mm water main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the Before You Dig Australia (BYDA) search, it is anticipated that the water main has sufficient capacity.

- 100 mm water main along Mugga Lane. This main has a tee connection that transverses the existing Symonston Correctional Centre and connects to a 150 mm water main in Mugga Lane.
- 150 mm water main in Mugga Lane

- Sewer

- 150 mm sewer main currently serving 2A option site, which crosses Mugga Lane.
- 150 mm sewer main off the site which services the adjacent Dhulwa mental health facility.



proposed development, though an alternative approach could be to retain and protect the main for a build-over option. The size and capacity of the 100mm water main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the Before You Dig Australia (BYDA) search, it is anticipated that the water mains may require upgrade.

For 2B option, the 150mm sewer main needs to be extended along the Mugga Lane and make connection to serve the site. The size and capacity of the sewer main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the BYDA search, it is anticipated that the existing sewer main may have sufficient capacity.

For 2C option, the site can be serviced by the 150mm sewer main which runs along the Mugga Lane. The size and capacity of the sewer main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the BYDA search, it is anticipated that the existing sewer main may have sufficient capacity.

is anticipated that the existing sewer main may have sufficient capacity.

For 2D option, the site can be serviced by the 150mm sewer main which runs along the southern boundary of the Dhuwa mental health facility. The size and capacity of the sewer main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the BYDA search, it is anticipated that the existing sewer main may have sufficient capacity.

Gas

There is a 50 mm 210 kPa medium pressure gas main running in Mugga Lane.

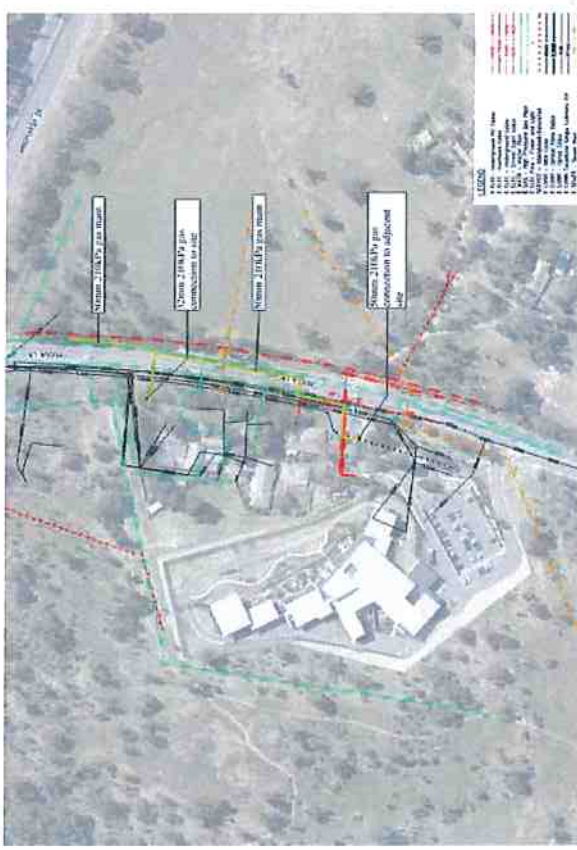


Figure 8: Gas utility assets

For 2A option, the site is currently serviced with a 32 mm 210 kPa gas connection off the gas main. The connection can be utilised with potential upsizing to 50mm connection subject to the gas demand of the new development.

For 2B option, the site can be serviced by the 50 mm 210kPa gas main in Mugga Lane.

For 2C and 2D options, the 50 mm 210kPa gas main needs to be extended along Mugga Lane to service the site.

Should a gas connection to the facility be required, the size and capacity of the existing main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the BYDA search, it is anticipated that the existing gas main may have sufficient capacity. However, the need for a connection may be negated if opportunities to pursue electrification of the new facility are pursued, in line with Territory policy.

Site 3

Site Overview

Site 3 refers to Symonston Block 12, Section 102, a 6.3 ha greenfield site accessed via Narrabundah Lane.

The Dhulwa secure mental health facility is located approximately 1 km northwest of this site. The relative locations of major features are therefore similar to Site 2: North Canberra Hospital is located approximately 12.5 km north-northwest of Site 3, on the opposite side of Lake Burley Griffin and Central Canberra. However, Canberra Hospital is located approximately 4 km west of Symonston in the Woden Valley and is accessible via Hindmarsh Drive.

A federal Department of Health facility is located directly to the east of the site.



Figure 9: Photo taken from the boundary fence along Narrabundah Lane at the eastern corner of the site, looking west (10 January 2024)

Topography

As visible in Figure 9 and mapped in Figure 10, Site 3 gently slopes from a high point of around 620 m AHD at the western boundary down to around 603 m at the eastern boundary.

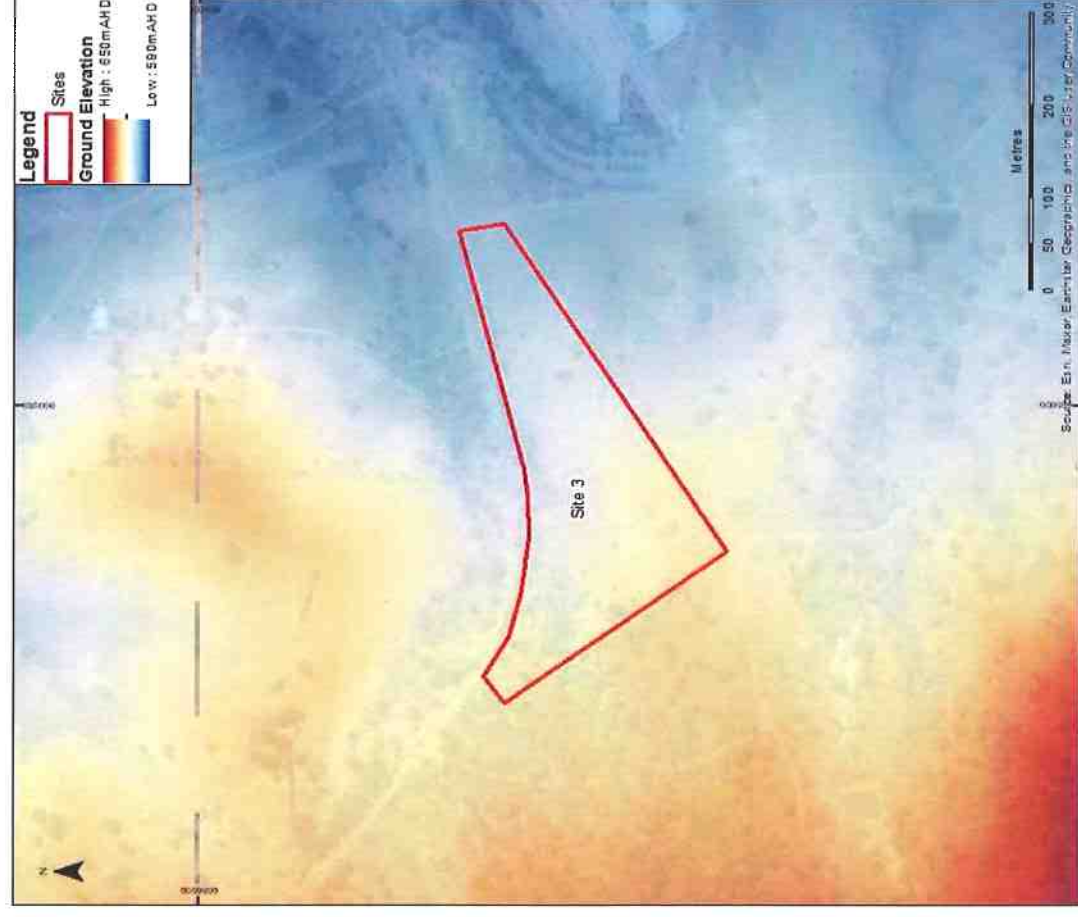


Figure 10: Topography, Site 3

Flooding

The site is both located away from any mapped watercourses or identified flooding due to its location relatively high in the catchment. The available LiDAR information indicates that the site is situated between two minor watercourses. However overland flow may nonetheless cross the site from the upstream external catchment area (7.9 ha) directly to the west of the site (refer Figure 11). This overland flow path drains from the external catchment through the northern section of the site, and then to a drainage swale alongside Narrabundah Lane.

It is recommended that the building floor levels be outside the 1% AEP local overland flow extents (with a suitable freeboard) to ensure safe occupation of the building. Consideration should also be given to rarer events such as the Probable Maximum Precipitation (PMP) storm, and ensuring flows associated with these extreme events can be managed.

Overland flow paths will need to be maintained to ensure that stormwater flow can either bypass the site or be conveyed through the site in a safe manner. Bypassing these overland flow paths can be done with conventional drainage assets, such as pipes, channels or swales. It may also present landscaping opportunities using natural channel design principals to enhance the area.



Figure 11: Existing flow paths through the potential mental health site

With appropriate controls in place, the flood risk can be managed. These controls are expected to include:

- Consideration of a range of storm events, including extreme events.
- Preservation of the overland flow paths to ensure that the flow can bypass the site.
- Consideration of flooding as part of the emergency response plan.
- Habitable areas outside the 1% AEP stormwater extents, and with suitable refuge outside the extent the PMP stormwater extent.

An emergency response plan that addresses flooding or severe storm events should be considered for the site.

Noise and vibration

The Symonston Block 12, Section 102 site is bounded by Narrabundah Lane to the north, Department of Health to the east, and the Callum Brae Nature Reserve greenfield to the west and south.

The nearest off-site land uses potentially affected by noise from site development are Department of Health (150 m east), an agriculture farm with residents (250 m north), and the low density villas on the opposite side of the Narrabundah Lane (600 m northeast).

It is anticipated that the noise and vibration that would be generated by future facility operations would not have an adverse impact to the nearest sensitive receivers due to the distances of the receivers from the facility.

However, it is recommended that further noise assessments on potential noise impacts from the following be undertaken is the site is selected:

- Aircraft movements from Canberra airport
- Road traffic movements and vehicle noise along Narrabundah Lane.

The findings from these assessments may influence the building envelope design for the mental health facility.

Contamination

The purpose of this contamination due diligence assessment is to summarise the desktop findings and identify contamination risks (if any) that may impact the feasibility of further development on the site. The due diligence assessment is limited to details provided within the Lotsearch report.

Site history

Based on the Lotsearch Report, the findings of a number of database searches potentially indicating contamination at the Site are summarised within Table 1.

Table 4: Potentially contaminating activities identified from Lotsearch report

Database	Description
ACT EPA contaminated sites management database and geographic information system (refer Lotsearch report)	None identified within 1000 m of Site.
ACT EPA Register of Contaminated Sites database	None identified within 1000 m of Site.
National Waste Management Site Database (waste management and liquid fuel facilities)	None identified within 1000 m of Site.
Defence PFAS Investigation and Management Program Management Sites	None identified within 1000 m of Site.
Airservices Australia National PFAS Management Program	None identified within 1000 m of Site.
Defence Controlled Areas	None identified within 1000 m of Site.
Defence 3 Year Regional Contamination Investigation Program	None identified within 1000 m of Site.
National Unexploded Ordnance (UXO) Register	None identified within 1000 m of Site.
Environment Protection Authority (EPA) Authorisations: Activity 29, Commercial use of chemicals	A total of five businesses are listed as having an EPA Authorisation for various activities, however, are located at least 700 m from the Site. A summary of each EPA Authorisation is provided below. - Bitupave Limited (Boral Asphalt) is listed as producing road building materials and storage of petroleum. This business is located approximately 700 m south-west of the Site. - Boral Resources is listed as producing concrete, storage of petroleum, extraction of mineral from land, placement of soil on land and the operation of crushing/grinding and separation. The business is located approximately 700 m south-west of the Site. - Canberra Contractors Pty Ltd, Dale & Hitchcock Civil Engineering and Landscaping and Remondis Australia Pty Ltd are all listed for activities relating to the placement of soil on land. All three sites are located 845 m west of the Site. The EPA Authorisations relating to the placement of soil, allows the three businesses to conduct the following: "the acceptance of more than 100m3 of soil for placement on land by a lessee or occupier of the land". As such the importation of fill material of an unknown quality may have been brought to these sites.
Historical business directories	One historical business named Capital Indoor Plant Hire was identified (road match only), immediately north of the Site.

Database	Description
Dry Cleaners, Motor Garages & Service Stations 1950-1991 business directories	None identified within 1000 m of Site.

A review of historical aerial imagery and maps was also undertaken for the Site, encompassing maps and imagery of the Site from as early as 1914 (first historical map) and 1944 (first historical aerial imagery). The aerial images can be found within the Lotsearch report. A summary of the findings is as follows:

- The majority of the Site appeared mostly undeveloped, vacant grassland/bushland until circa 1981, when a circular feature (considered to potentially be a demolition site or buried pit) and rectangular feature (considered potentially to be former hardstand of demolished building) become evident in the eastern portion of the Site.
- By 1992, an unpaved road connecting Narrabundah Lane to the circular feature is present. Smaller square features (inferred miscellaneous farming equipment) are now present immediately south-west of the circular feature. The surface of the rectangular feature appears to have changed and is no longer grass. Unidentified objected can be seen scattered throughout the Site, along the northern boundary and towards the south-west corner of the Site.
- By 2009, the circular feature appears to have faded, with the distinct black outline no longer present. The Site remains relatively unchanged.
- By 2017, large grey boulders are present in the south-west portion of the Site. The Site remains relatively unchanged.
- By 2023, the circular feature is no longer present. The Site remains relatively unchanged compared to previous aerial imagery.

Potential sources of contamination

Based on the findings of this high-level review, several potential contamination risks have been identified that may impact on the development of the site. An initial risk rating has been determined using the matrix shown in Table 2.

Table 5: Environmental risk matrix

Likelihood	Consequence level			
	Insignificant	Minor	Moderate	Critical
Almost Certain	Medium	Significant	High	Critical
Likely	Medium	Medium	Significant	High
Possible	Low	Medium	Significant	High
Unlikely	Low	Low	Medium	Significant
Rare	Low	Low	Low	Medium

It is noted this assessment is limited to only to details provided within the Lotsearch report). Table 6 has been developed to identify high-level contamination risks / red flags considered to potentially pose a risk to the development of the Site for the Workstream 2 Project. The contamination risks identified within Table 6 are considered general in nature, and no linkages to any project design have been interpreted.

A full Preliminary Site Investigation (PSI), in accordance with the ASC NEPM and complete with a conceptual site model (CSM), should be undertaken to further develop the understanding of the contamination risks the Site poses to the proposed Project, as well as to further assess the findings identified within this high-level assessment.

Utilities and Services

Electrical

There are 11kV above ground cables at the site perimeter. Due to the remote location of the site it is likely that a new kiosk substation will be required to support the redevelopment. It is likely that an 11kV supply to support a new substation will be derived from existing 11kV cables in the street. The BYDA drawings do not indicate any other electrical services at the perimeter or within the site.



Figure 12: Electrical utility assets

Communications

The site is well serviced from communications carriers with Optus, Telstra and NBN conduits within the vicinity. It would appear that NBN and Telstra conduit pass through the eastern edge of the site and then terminate. These conduits will need to be further investigated to determine if they are something more significant. Where possible, we would recommend avoiding these conduits if possible/.

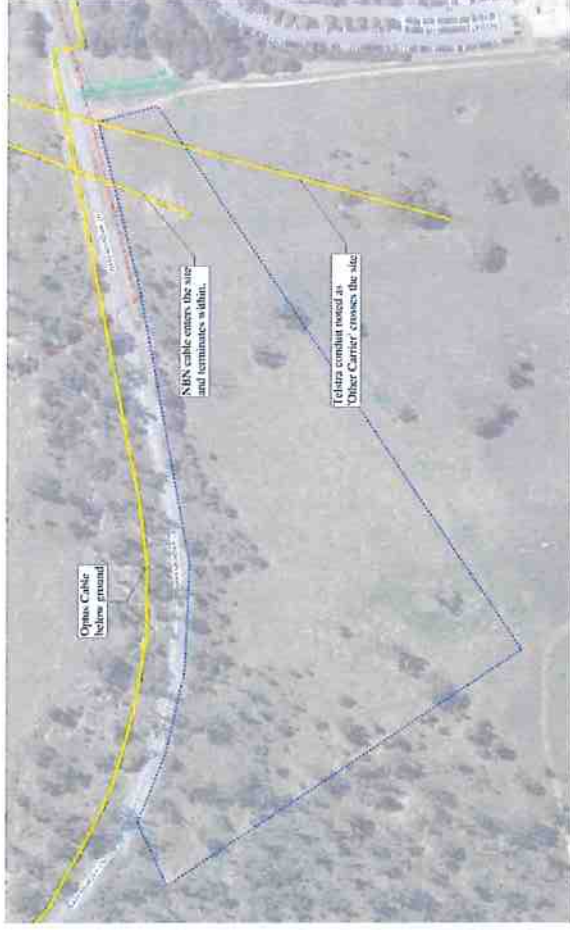


Figure 13: Communications carrier assets

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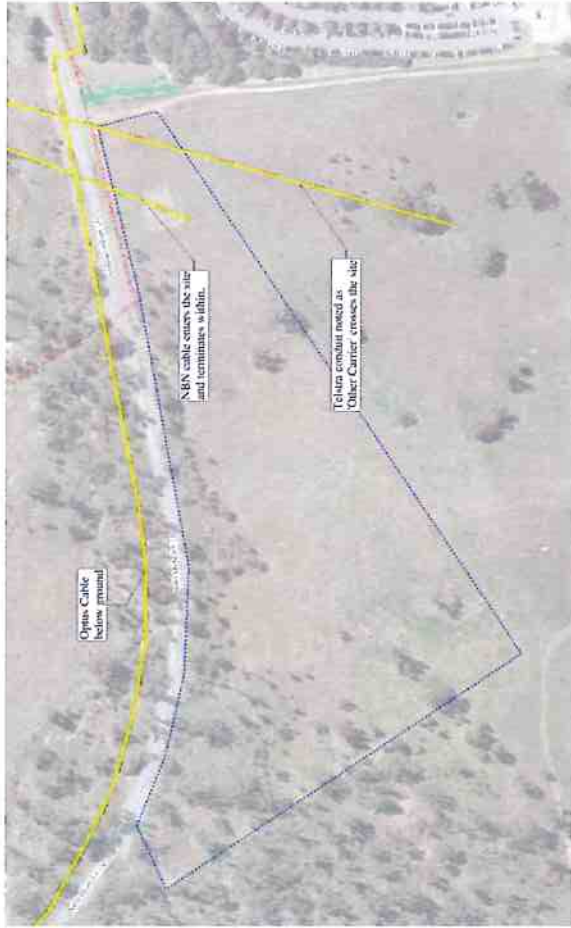


Figure 13: Communications carrier assets

Water

There are a number of Icon Water reticulated mains around the site, including:

- 600 mm bulk supply water main running in proximity to the southern site boundary.
- 375mm bulk supply water main tapped off from the 600mm bulk supply main in proximity to the eastern site boundary.
- 100mm water main in Narrabundah Lane

A fire service water supply is also available in proximity to the eastern site boundary.



Figure 14: Water utility assets

The size and capacity of the water main will need to be assessed to confirm if capable of supporting the development, or if upgrade works will be required. Given the current sizes reported by the Before You Dig Australia (BYDA) search, it is anticipated that the water mains may have sufficient capacity if it is allowed to tap off from the 375 mm bulk supply main.

Sewer

Based on the sewer utilities map extracted by BYDA, there is no sewer infrastructure in close proximity to the site. Establishing new sewer infrastructure from ICON Water will be essential to service the facility.

Gas

According to the gas utilities map extracted by BYDA, there is no natural gas infrastructure in close proximity to the site. If a gas connection is necessary for the facility, establishing new gas infrastructure from Evoenergy will be essential. However, the need for a connection may be negated if opportunities to pursue electrification of the new facility are pursued, in line with Territory policy.

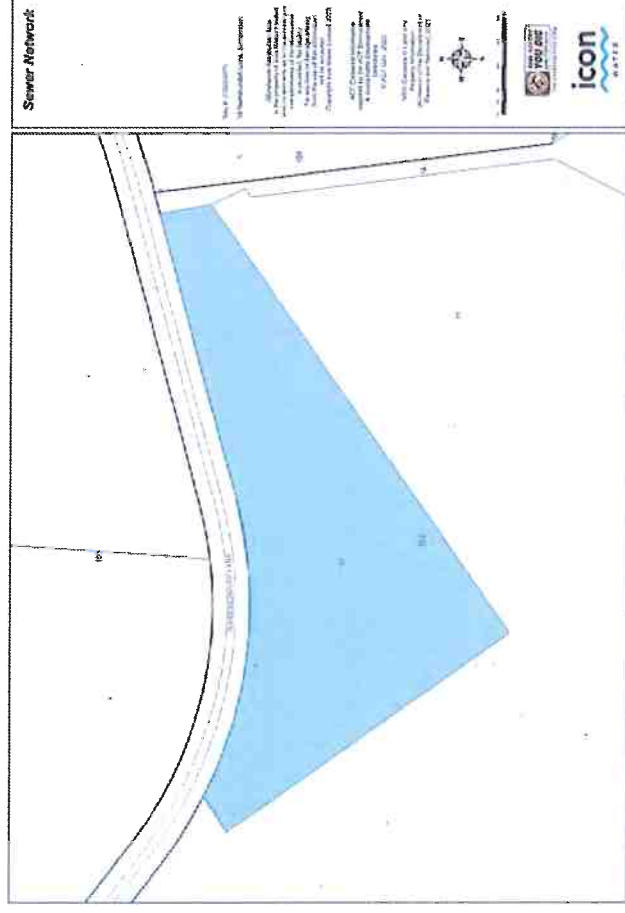


Figure 15: Sewer utility assets

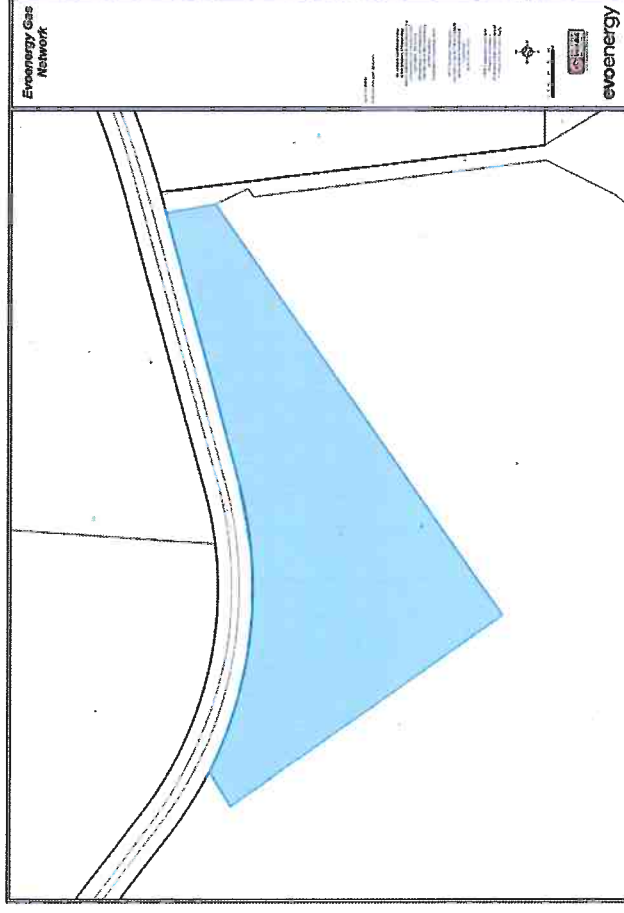


Figure 16: Gas utility assets

Transport

Car parking requirements

The planning report by Planit acknowledges Block 15 in Site 2 is zoned as NUZ1 under the 2023 Territory Plan. The report recommends residential care accommodation or complementary use as most appropriate. No specific parking rates are listed in the Technical Specifications 2023 for non-urban zones under the Territory Plan. However, residential care accommodating within the ZS1 does provide parking rates which will be used for the purpose of this assessment. They are;

- 1 space per non-resident peak shift employee + 1 space per staff residential unit
- 0.25 spaces per bed for guest.

The functional brief for WS2 specifies that 6 full time staff are expected to work at the mental health unit. The mental health unit will be designed to accommodate 10 beds/patients. This equates to 6 parking spaces for staff, 3 spaces for visitors.

Site 3 is unleased Territory land in the custodianship of EPSDD Parks and Conservation. For the purposes of transport assessment, Site 3 will be assumed to have the same residential care accommodation.

The fit out designs for Sites 2A-2D and Site 3 show loading will be accommodated directly to the building via an access lane in all site options, meaning a loading bay does not need to be provided in the car park.

In summary, all sites would require 9 car park spaces.

Public transport

The Dalrymple Street bus stop is the closest public transport stop to Site 2, situated 300-600 meters away from Options 2A-2D. The bus stop is serviced by Route 6 and Route 902. Route 6 offers a frequent connection between Woden and the Canberra CBD, while Route 902 provides less frequent service, linking the Woden and Narrabundah suburbs. A footpath along the western side of Mugga Lane connects the bus stop to Site 2. However, the absence of street lighting along this path means that public transport may not be suitable for travelling outside daylight hours.

Site 3 is situated on Narrabundah Lane and there is no access to public transport within walking distance.

Table 7: Comparison of public transport accessibility among the different sites

Site	Public transport access
2A	✓ Within 400m from bus stop
2B	✓ Within 400m from bus stop
2C	✗ Beyond 400m from bus stop
2D	✗ Beyond 400m from bus stop
3	✗ No nearby public transport

Bike parking and EOT facilities

The technical specifications of the Territory Plan require 1 staff bicycle parking space per 2000 m² NLA and 1 guest space per 1000 m² NLA for residential care accommodation.

The schedule of accommodation within the functional design brief totals the internal areas to less than 2000 m², therefore 1 staff parking space and 1 guest parking space would need to be provided.

Long-term staff parking must be provided as secure parking in a lockable enclosure, with weather protection and on a hard concrete or paved surface.

Visitor parking must be at grade and may be provided in the form of a bicycle hoop, providing capacity for two bicycles. Both long and short-stay bicycle parking should be no more than 30 m from the building entrance.

The specifications refer to AS2890.3 for further information on the design and specifications of bicycle parking.

Vehicular Access

Both Site 2 and Site 3 are situated outside of residential zones with no other buildings adjacent. Several industrial sites are located on Mugga Lane including quarries and a recycling centre. In contrast, Site 3 is located on Narrabundah Lane, an area characterised by rural properties and the Department of Health office.

Three aspects of vehicle access have been compared in the following table. Road access refers to the level of safety when vehicles turning in and out of the driveway. Parking space refers to the ability to provide the required parking spaces (based on fit out designs). Inter-site connectivity indicates whether the Gawanggal mental health unit and Dhulwa can be accessed using internal access roads.

Table 8: Access and parking comparison among sites

Site	Road access	Parking space	Inter-site connectivity
2A	✗ Untreated intersection. New driveway from Mugga Lane.	✓ Creation of a new car park	✗ Isolated from Dhulwa circulation
2B	✗ Untreated intersection. Existing driveway from Mugga Lane.	✓ Creation of a new car park	✗ Isolated from Dhulwa
2C	✓ Treated intersection. Shared driveway to Dhulwa	✗ Impacts existing car park parking facilities. Existing car park will need to be relocated	✓ Connected to Dhulwa building and internal circulation
2D	✓ Treated intersection. Shared driveway to Dhulwa	✓ Creation of new of parking space and access to existing parking lot	✓ Connected to Dhulwa building and internal circulation
3	✗ Untreated intersection. Narrabundah Lane is narrow; road widening will require intrusion on surrounding lane. However, traffic volumes are likely lower.	✓ Creation of a new car park	✗ Isolated 1.2 km from Dhulwa. Close to Department of Health.

Summary

Based on assumptions and available information at the time of writing, the parking requirements for both sites are expected to be similar due to both sites falling under the same permissible use under the Territory Plan.

Parking spaces can be feasibly met in all Site options except 2C which appears to reduce the overall existing parking at Dhulwa and may require relocation of these impacted spaces. Sites 2A and 2B provide access to public transport services where other sites extend the walking distance or do not have public transport access. Lack of street lighting limits feasible utilisation of public transport for staff, patients and visitors.

Options 2C and 2D shared the same internal roads as Dhulwa, simplifying access for logistics and servicing to access both facilities.

Site 3 on the other hand, is situated further away from main roads and residential areas, requiring dedicated travel to access the site.

Geotechnical

Site Overview

This geotechnical due diligence assessment has been completed for both Site 2 and Site 3 to identify potential constraints and opportunities related to the relocation of the Gawanggal secure mental health facility. A one-storey building is located at Site 2 for the Symonston Correctional Centre. At Site 3 the land is cleared, with some mature trees and small stockpiles of fill material.

For this due diligence assessment the proposed development is assumed to include two-storey buildings, with a combination of shallow footing foundations and piled foundations, shallow earthworks regrading works (less than ± 1.5 m) and small retaining walls (less than 1.5 m high).

Geology

The Canberra 1:100,000 scale Geological Series sheet 8727 (Abell, 1992) indicates the sites are underlain by the Silurian aged Mount Painter Volcanics (Shp) (Figure 13), and a 160 m wide strip of an unnamed member of Mount Painter Volcanics (Shp2) is located along the southwest boundary of Site 3. Mugga Mugga Porphyry Member is located further to the southwest. The geological formations comprise:

- Mount Painter Volcanics (Shp) – dacitic ignimbrite with lithic xenoliths and dacitic autoliths, minor tuff and ashstone
- Unnamed member of Mount Painter Volcanics (Shp2) - Tuff and ashstone
- Mugga Mugga Porphyry Member (Sldm) – rhyodacite lava

No geological faults are mapped in 1,000 m of both sites, however a number of faults are mapped in surrounding geological units which is typical of the Canberra region.



Figure 17: Rock observed at Site 3, likely Mount Painter Volcanics

Soil landscape

The sites are underlain by transferral soil landscapes, where Site 2 is within the Burra Soil Landscape and Site 3 is within the Williamsdale Soil Landscape (Figure 14) (Jenkins, 2000). A summary of the soil landscape characteristics is provided in Table 7.

Table 9: Summary of soil landscape characteristics (Jenkins, 2000)

	Burra	Williamsdale
Landscape	Undulating to rolling low hills and alluvial fans. Local relief <90 m. Elevation 650 to 900 m. Long (>300 m), waning and gently to moderately inclined hillslopes, footslopes and fans (slopes 5 to 30%). Localised terraces are common. Almost completely cleared of woodland.	Undulating rises, fans, valley flats and depressions. Significant areas of pediplain. Local relief 5 to 50 m. Elevation 550 to 650 m. Waning footslopes (<10%). Little or no rock outcrop. Original woodland has been cleared and grassland areas have been extensively altered
Soils	Moderately deep (<90 cm), moderately well drained Red Kurosoils and Red Kandosols on midslopes and most lower slopes. Moderately deep (<100 cm), slowly to moderately well drained Brown Chromosols and Brown Kandosols along minor drainage lines and on some lower slopes.	Moderately deep (<90 cm), moderately well drained Yellow Chromosols on Red and Brown Kandosols, on upper rises and fan elements. Moderately to very deep, poorly to imperfectly drained Sodosols on lower rises and fan elements.
Limitations	Strongly acidic soils with low fertility and low available waterholding capacity. Subsoils have low permeability. Moderate mass movement hazard, sheet erosion risk, run-on and localised shallow soils.	Hardsetting, erodible, dispersible soils (localised). Acidic topsoils. Seasonal waterlogging, complex terrain; flood hazard (localised), run-on and dieback.

Hydrogeology

The site is located within the Symonston Hydrogeological Landscape, which has an overall low risk of salinity land salinity (Muller et al. 2017). The hydrogeological properties of the Symonston Hydrogeological Landscape are summarised in Table 8.

Table 10: Hydrogeological parameters of the Symonston Hydrogeological Landscape (Muller et al. 2017)

Aquifer type	Unconfined to semi-confined in fractured rock and saprolite. Lateral flow through unconsolidated colluvial sediments on lower slopes.
Hydraulic conductivity	Moderate. Range: 10 ⁻² to 10 m/day
Transmissivity	Moderate. Range: 2 to 100 m ² /day
Specific Yield	Moderate. Range: 5 to 15%
Hydraulic gradient	Gentle. Range: <10%
Groundwater salinity	Fresh to marginal. Range: <800 to 1,600 µS/cm
Depth to water table	Shallow to intermediate (localised waterlogging). Range: <2 to 8 m
Typical catchment size	Small (<100 ha)
Scale (flow length)	Local. Flow length: <5 km (short)
Recharge estimate	Moderate
Residence time	Medium (years)
Responsiveness to change	Medium (years)

The ACT Groundwater Abstraction Bore database shows there are 2 abstraction boreholes within 1000 m of each site. ACT Bore ID: 28 is located around 100 m north of Site 3 and ACT Bore ID: 140 is around 450m southeast of Site 2. Both bores were installed in 1970 and their current use is unknown. The groundwater level recorded at ACT Bore ID: 28 is 6.5 m.

The Bureau of Meteorology Groundwater Dependent Ecosystem (GDE) Atlas indicates that there are no potential GDEs mapped within 1000 m of the proposed sites.

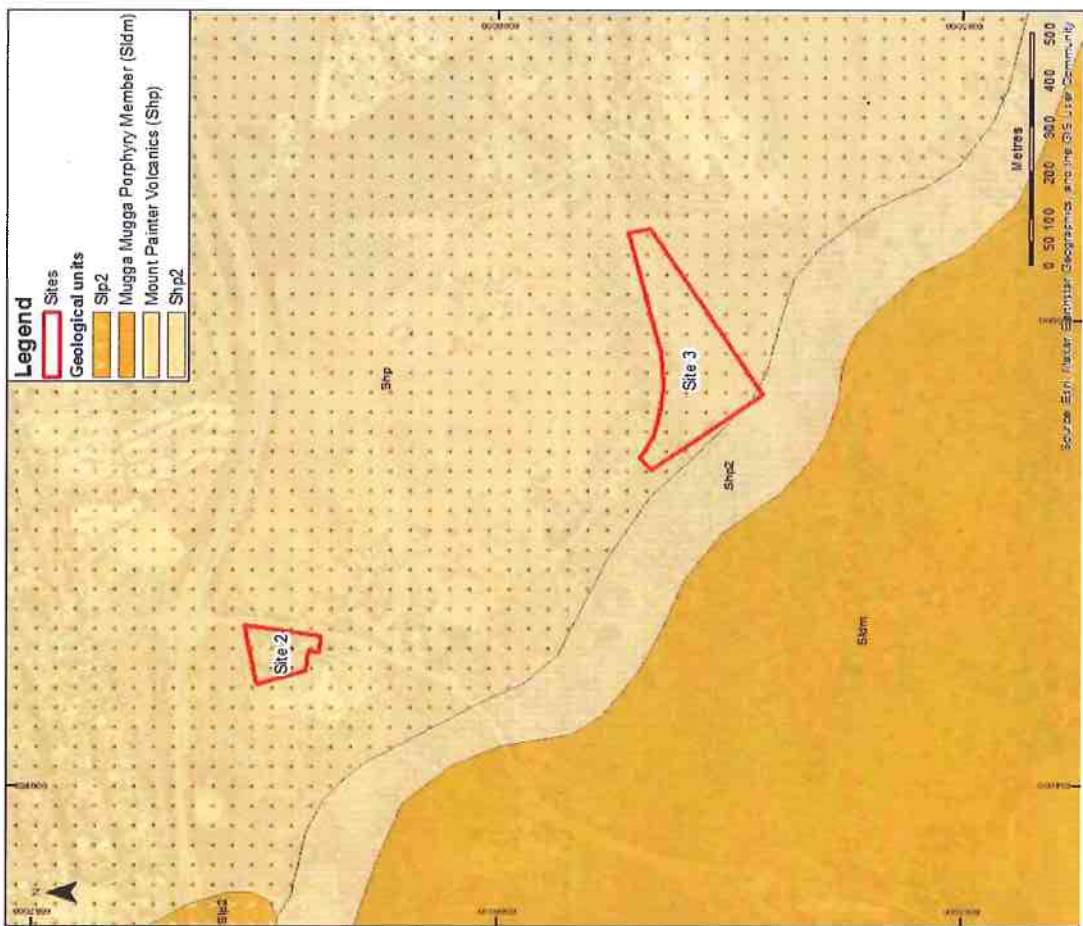


Figure 18: Mapped geology (Abell, 1992)

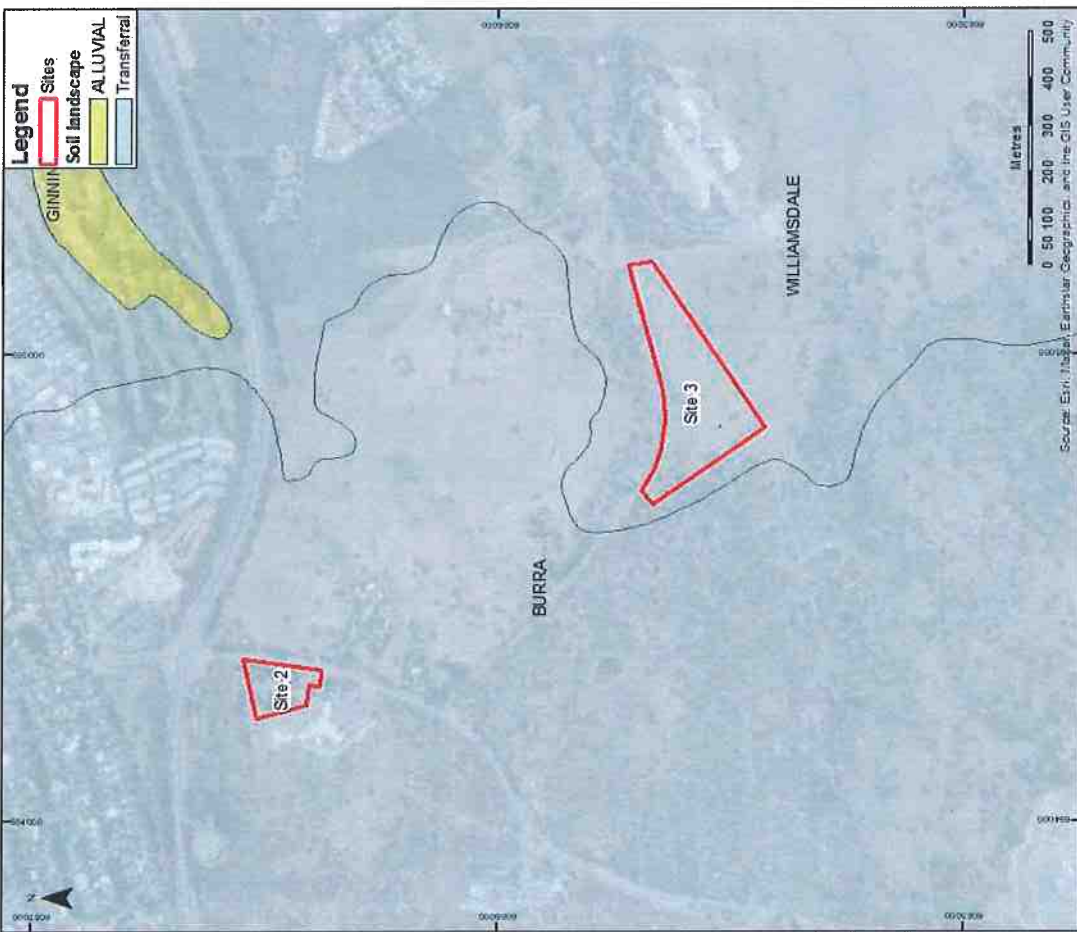


Figure 19: Soil landscape mapping (Jenkins, 2000)



Figure 20: Groundwater receptors

Historic geotechnical investigations

ACT Geotechnical Engineers completed a geotechnical investigation southwest of Site 2 to inform the design of the Dhulwa in February 2014. The investigation comprised a total of 6 augured boreholes between 1.1 m and 3 m depth around the current footprint of the main building and carpark of the Dhulwa Mental Health Unit. Key findings from the investigation include:

- Uncontrolled fill was encountered up to 2.4 m below ground level. The fill comprised gravelly silty SAND and appeared to be uncompacted and placed for landscaping purposes.
- Residual soil was encountered up to 0.7 m thick, comprising very stiff, high plasticity, sandy CLAY.
- Weathered tuffaceous dacite bedrock was encountered from 1.1 m to 2.6 m below ground level. The rock encountered was moderately to highly weathered, and weak to medium strength (0.3 to 1 MPa).
- Groundwater was not encountered during the investigation.

Geotechnical risks

Uncertainty

Based on the desk study review of publicly available information and geotechnical investigations undertaken at the site, the following geotechnical uncertainties have been identified:

- Ground conditions and suitability
 - No known geotechnical investigations have been undertaken on the sites to date. This geotechnical due diligence study is based on publicly available information and nearby geotechnical investigations. A detailed assessment of ground conditions should be completed to identify any additional site specific geohazards not identified in this due diligence study.
 - The geological formations underlying Site 2 and Site 3 are characterised by high silica and quartz contents, which can result in higher strength rock that is difficult or highly abrasive to excavate. Nearby geotechnical investigations indicate the rock may be moderately to highly weathered, however deep weathering profiles/beds can be encountered tuffaceous rock comprising clays and boulders. At Site 2, bedrock may be relatively shallow, based on nearby geotechnical investigation and boulders observed on the ground surface at Site 3, also indicate potentially shallow bedrock may be encountered.
 - No geological faults are mapped near Site 2 and Site 3; however faulting is common with the Canberra region. Future investigations may encounter faults not previously mapped which may require additional earthquake considerations in design.
 - The Williamsdale soil landscape at Site 3 includes hard-setting and dispersible sodic soils, which may not be suitable for earthworks reuse. Areas of bare-ground or poor vegetation may develop erosional gullies, which may require additional consideration during surface drainage and landscape design.
 - Uncontrolled fill was encountered at geotechnical investigations near Site 2 up to 2.6 m depth, and small stockpiles of fill were observed at Site 3. The presence of uncontrolled fill is likely at Site 2 where the site has already been developed. Uncontrolled fill may be unsuitable for reuse, provide unsuitable bearing capacity and be highly variable in thickness.
 - There is a potential risk of contaminated land issues at the site, and the extent of contamination is yet to be determined (refer to the discussion on contamination for further information).
- Groundwater levels
 - Temporary, perched groundwater flow may occur due to rainfall events.
 - Groundwater is likely to be encountered during construction of deep, sub-surface design elements such as basements and piles (if applicable). Groundwater ingress, changes in flow paths, approvals

and disposal of groundwater will need to be managed during temporary works and the life of the structure.

- Soil and groundwater aggressivity
 - Acidic and saline soils have been identified in the soil landscape characterisation, which may impact upon the material durability of subsurface structures. Groundwater in volcanic bedrock can also be aggressive depending upon the bedrock mineralogy. The aggressivity of soil and groundwater should be considered in the design to select appropriate construction materials and structural requirements.
- Topography
 - Site 2 is located around the toe of Mount Mugga Mugga, which may receive a lot of surface water run-off during rain events. The water may locally pond in low areas around the site and potentially impact the sub-grade strength of pavements and shallow foundations. Appropriate drainage measures will need to be considered in design to minimise ponding on site.

Geohazards

Based on the findings of the desk study, the geohazards identified at the site are summarised in Table 9.

Table 11: Summary of geohazards and mitigation requirements

Geohazard	Risk	Mitigation
Localised, shallow high strength rock	More complex/heavy duty excavation methods may be required to prepare earthworks or sub-surface design elements.	Undertake geotechnical investigations within the proposed redevelopment footprint, including rock coring, to confirm depth and strength of rock.
Localised poor quality ground conditions, uncontrolled fill, deep weathering profiles and weak tuffaceous planes	More complex foundation designs may be required for building structures and pavements. Temporary excavations may not be self-supporting, and shoring will be required. Material may not be suitable for reuse, for example, poor quality or contaminated.	Undertake geotechnical investigations within the proposed redevelopment footprint, including rock coring, subgrade sampling and groundwater monitoring. Foundation treatment or replacement of unsuitable sub-grade material. Design any basement excavations to be undrained and retained in their permanent condition (if applicable). Undertake rock face mapping during temporary works to identify appropriate temporary retention systems and staging.
Strongly acidic and erosive soils, acid sulphate rock, aggressive groundwater	Reduction in material durability for subsurface structures Environmental degradation of soils, reduced soil infiltration capacity, increased run-off, geotechnical instability of slopes and earthworks, reduction in drainage design performance.	Undertake soil and groundwater aggressivity testing to quantify risk and material selection. Incorporate soil management into water management strategies for temporary and permanent works. Undertaken soil dispersion testing to quantify risk and inform drainage design
Geological faulting and seismic potential	Structural and foundation design to consider seismic potential	Undertake a seismic assessment to estimate the risk magnitude.

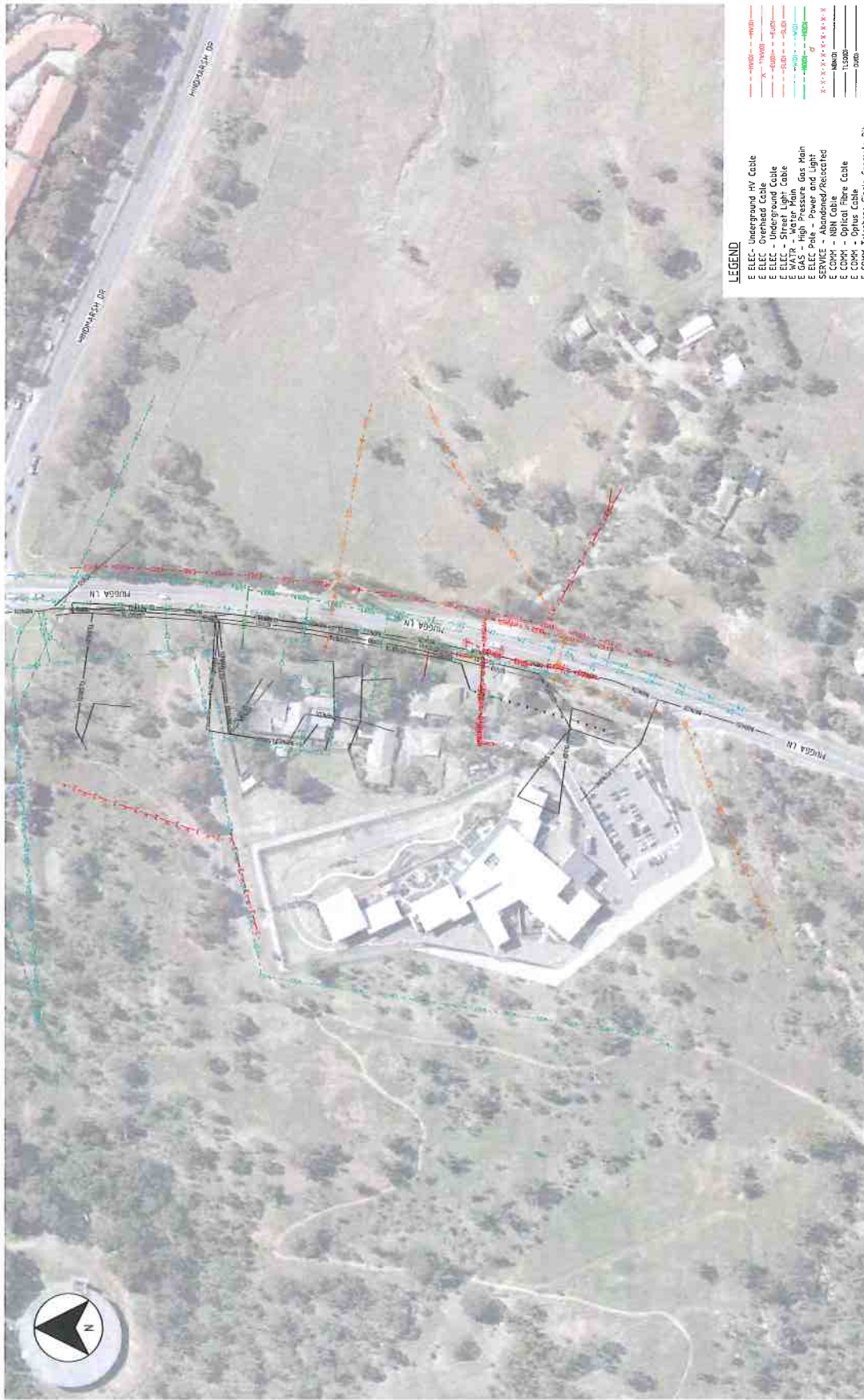
Recommended actions

Recommended due diligence investigations

A high-level desktop due diligence assessment was undertaken as part of this feasibility study. However, should the project be progressed further, the following limitations to the current study are noted and some additional investigations recommended.

	Recommendation
Ecology	Mapping on ACTmap shows that Site 2 has potential threatened woodland and potential for rare invertebrates, while Site 3 similarly has potential threatened woodland and threatened, protected and rare plants. An ecologist should be engaged to conduct a field survey to identify the ecological constraints that will apply to the sites. Recommended timing: Following direction from ACT Health, Arup will prepare a proposal to engage Eco Logical Australia to undertake an Ecological Constraints Assessment in early 2024. Further ecological advice may be required as the design progresses.
Bushfire	ACTmap shows both sites are located within a Bushfire Prone Area and development on these sites will need to consider how bushfire risk can be managed and mitigated, including through the implementation of Asset Protection Zones (APZs). Recommended timing: Following direction from ACT Health, Arup will prepare a proposal to engage Eco Logical Australia to undertake a Bushfire Opportunities and Constraints Assessment (BOCA) in early 2024. This will identify the APZs that will apply to development on the site. Further bushfire advice will be required as the design progresses.
Arboriculture	Removal of trees on site will likely be subject to the Urban Forest Act 2023. Once a development footprint and bushfire management measures are confirmed, an arborist should be engaged to provide advice on the impacted trees and measures needed to protect or replace them. Recommended timing: Following direction from ACT Health, Arup will prepare a proposal to engage Eco Logical Australia to undertake a Preliminary Tree Assessment in early 2024. Further arboricultural advice will be required as the design progresses.
Geotechnical	The high-level desktop due diligence undertaken as part of this study identified several geohazards, including shallow high strength rock and localised poor ground conditions. Site geotechnical investigations will be required to inform foundation design of any new structures. Recommended timing: Geotechnical field investigations would ideally be undertaken prior to detailed design commencement to better inform the next stage of design. Following confirmation of the design footprint, the design team may recommend further targeted investigations.
Contamination	The high-level desktop due diligence undertaken as part of this study identified that Underground Storage Tanks may be present within the Site 2 study area due to previous community facility use. Other potential sources of contamination could include fill imported during construction of Dhulwa and historic agriculture uses on the site. The next step would be a more detailed desktop Preliminary Site Investigation, followed by a Sampling and Analysis Quality Plan to scope the Detailed Site Investigations. Recommended timing: Contamination site investigations would ideally be undertaken in parallel with the geotechnical site investigations.
Topographical and utilities survey	The due diligence assessment was based on publicly available LiDAR information and services data from BYDA. Should the project be progressed, topographical survey and a utilities location survey should be undertaken to provide more accurate data to inform the design. Recommended timing: Survey should be undertaken at the commencement of the detailed design phase of the project.
Heritage	There are no nominated, provisional or registered Heritage values on either site. However, ACTmap shows there are several sites with heritage significance in the vicinity, including Aboriginal archaeological sites and Mugga Mugga cottage. Should the preferred site be located on previously undeveloped land, the Technical Advisor would recommend a heritage consultant be engaged to survey the site in consultation with the Representative Aboriginal Organisations (RAOs). Recommended timing: A heritage consultant should be engaged as part of the detailed design team.

Acoustics	Recommendation
	Noise mitigation should be considered as part of the design of the Gwanggal secure mental health unit. Recommended timing: An acoustics specialist should be engaged as part of the detailed design team.



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Project Name
**NORTHSIDE HOSPITAL
ENABLING WORKS**

Client
CIT, Boro, ACT

Not for Construction

288215-06 02-UTM-SKT-0002



- LEGEND**
- ELEC - Undergrnd HV Cable
 - ELEC - Overhead Cable
 - ELEC - Undergrnd Cable
 - ELEC - Street Light Cable
 - WATER - Water Main
 - GAS - Gas Main
 - SERVICE - Abandoned/Relocated
 - COMM - NBN Cable
 - COMM - Optical Fibre Cable
 - COMM - Copper Cable
 - COMM - Telephone Single Concrete Pit

NOT FOR CONSTRUCTION

ARUP

Northside Hospital
Enabling Works

Client: The
Northside Hospital
W33 - Site 5
CIT, Bruce, ACT

Not for Construction

23/01/2023

23/01/2023

DRAFT-FOR-DISCUSSION-PURPOSES-ONLY

Risk Descriptions														
Ref	Risk	Description	Consequence	Mitigation	Quantification / Feasibility	Applicable to?	Workstream 1: EEC	Workstream 2: Gwangari	Workstream 3: Araola House	Workstream 4: CAHMS	Comments			
7.	Development Approvals - Delay Risk	Delays in obtaining development and planning approvals (as well as scope changes).	a) Shifts and prolongs the construction program. b) Capital costs increase due to prolongation and escalation. c) Impact schedule of Main Works	a) Early consultation with relevant authorities to expedite approvals. b) Clear communication of project constraints to the architects. c) Ensure appropriate project governance structures are in place, particularly around key milestones. d) Monitor the extent and duration of design and development activities. e) Potential for the project to be declared a priority and therefore avert the need for DA.	As this relates to delays due to approvals, the delay would occur at the start of the construction phase, therefore would be unlikely to be any acceleration costs.	All	Likely	Minor	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
8.	Development Approvals - Cost Risk due to conditions of DA	Additional costs incurred as a result of conditions and changes imposed through obtaining development and services approvals.	a) Additional construction costs b) Delay to works	a) Early consultation with relevant authorities to expedite approvals. b) Build in appropriate allowances to the delivery timelines. c) Clear communication of project requirements to the architects. d) Ensure appropriate project governance structures are in place. e) Continual engagement with the community and key stakeholders, particularly around key milestones. f) Planning contingency built into cost plan.	Escalate the total capital costs by: % increase * Capital Costs	All	Possible	Insignificant	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
9.	Site Selection and Site Conditions	Risk that due to the unknown site selection, there is the potential for the following site conditions to be encountered: a) unforeseen adverse geological ground conditions (i.e. localised rock, soft spots or landslides) b) unforeseen ground contamination, c) utility network has insufficient capacity.	a) Increased cost due to site condition treatment and delay. b) Impact schedule of Main Works	a) Detailed site investigations and due diligence. b) Appropriately considered timeframes factored in to the project program. c) Appropriate contractual risk allocation between Territory and Contractor. d) Escalate the knowledge (if applicable). e) Early engagement with utilities services providers.	Escalate the total capital costs by the duration of the delay: (Capital Cost * % CapEx inflation Rate)	All	Possible	Unlikely	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
10.	Changes to specification, scope creep	The risk that the specifications change due to identified issues or government initiated changes.	a) Additional construction costs b) Delays to construction program c) Impact schedule of Main Works	a) Early and ongoing consultation with relevant stakeholders, early involvement of decision makers, and efficient decision making. b) Clear communication of project requirements to the architect/contractor.	Increases to the construction costs: % increase * Capital Costs	All	Unlikely	Possible	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
11.	Regulatory Changes (Government Policy or Law)	Risk that regulatory changes require a change to scope and impact delivery timelines	a) Additional construction costs b) Delays to construction program c) Impact schedule of Main Works	a) Project design to take into account relevant regulations and environmental requirements. b) Early consultation to determine relevant requirements.	Increases to the construction costs: % increase * Capital Costs	All	Unlikely	Unlikely	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
12.	Force Majeure (not quantifiable)	Project delayed due to a force majeure event	a) Changes in the scope of the project b) Delays to construction program c) Possible revision of design.	a) Ensure appropriate project governance structures are in place. b) Appropriate contractual risk allocation between the Territory and the Contractor.	Escalate the total capital costs by: % increase * Capital Costs	All	Unlikely	Unlikely	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
13.	Work health and safety	Work health and safety issues or incidents during delivery which impact or delay	a) Injury or loss of life b) Delay to program c) Reputational damage d) Additional construction costs e) Impact schedule of Main Works	a) Running a rigorous procurement process to select the appropriate contractor (incl. requiring WHS plan, evaluating WHS history and ensuring proposed program is adequate). b) Establish appropriate project governance structures. c) Continual monitoring and on-site/independent auditing during construction to ensure compliance with plans and any deliverables.	Escalate the total capital costs by: % increase * Capital Costs	All	Unlikely	Unlikely	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		
14.	Project Specific: Site delays to identify, secure or purchase alternative sites	Completion of Projects may be delayed due to delay in handover of land from private entity	a) Shifts the construction program. b) Capital cost increases due to escalation, prolongation c) Impact Schedule of Main Works	a) Early engagement via working group established, which includes consulting with ACTPC and working with Treasury & GSO to consider purchasing private land. b) Build in appropriate allowances to the delivery timelines. c) Clear communication of site investigation/due diligence requirements. d) Ensure appropriate project governance structures are in place. e) Continual engagement with the required landholders, particularly around key milestones.	Escalate the total capital costs by: % increase * Capital Costs	All	Possible	Moderate	Medium	Medium				
							Unlikely	Unlikely	Unlikely	Unlikely	Unlikely	Unlikely		

Risk Descriptions						
Ref	Risk	Description	Consequences	Mitigation	Quantification Methodology	Applies to?
15.	Stakeholder risk	Given geographical location and broad range of projects, issues with ongoing stakeholder engagement in design and development of the project for example: a) stakeholder engagement skills or is not progressed; b) inability to reach consensus within stakeholder groups delays design development or construction c) Negative feedback from the community or potential issues that cause a change to scope or delay	a) Shifts or prolongs the construction program b) Capital cost increase due to changes in escalation c) Impact Schedule of Main Works	a) Involvement of key stakeholder groups in design phases (i.e. the surrounding community). b) Engaging and early engagement with external stakeholders and the community. c) Negative feedback from the community or potential issues that cause a change to scope or delay, or result in site being unavailable and further site selection activities to be undertaken. d) Establish conflict resolution process and consider involvement of professional mediator to facilitate discussions. e) Develop detailed and proactive public relations strategy including identification of potential conflicts, solutions, rebuttals and positive benefits of project (i.e., long-term benefits of the project for the community, economy or individual stakeholders). f) Utilise various communication mediums to ensure all stakeholders are reached (e.g., newsletters, meetings, radio, digital platforms and social media).	Increases to the construction costs % increase * Capital Costs	

Likelihood of Consequence					Consequence**				
Frequency									
Almost Certain	Is expected to occur in most circumstances	Once in a year or quarter of years	Matrix		Insignificant	Minor	Moderate	Major	Catastrophic
Likely	Will probably occur	Once a year or more	5	1	1% of Budget or <\$5K	2.5% of Budget or <\$50K	> 5% of Budget or <\$500K	> 10% of Budget or <\$5M	>25% of Budget or >\$5M
Possible	Might occur at some time in the future	Once every 1 - 5 years	4	2	Injury or ailments not requiring First Aid treatment and / or psychological injury managed by staff support services.	Minor injury requiring First Aid treatment or short term injury (less than four weeks incapacity for work) and / or psychological injury resulting in reduced ability to perform tasks requiring ongoing support from GP/health professional.	Serious injury causing hospitalisation or medium term reversible disability (four weeks or more incapacity for work) or multiple medical treatment cases and / or psychological injury resulting in reduced ability to perform tasks requiring ongoing support from GP/health professional.	Single life threatening injury including loss of limbs) or multiple serious injuries causing hospitalisation and/or permanent disability and / or psychological injury resulting in reduced ability to perform tasks requiring ongoing support from GP/health professional.	Death or multiple life threatening injuries and/or multiple injuries causing major life threatening impairment and / or psychological injury resulting in inability to perform tasks requiring ongoing significant psychological treatment.
Unlikely	Could occur but doubtful	Once every 5 - 20 years	3	3	Non-compliance with work policy and standard operating procedures which are not legislated or regulated.	Numerous instances of non-compliance with work policy and standard operating procedures, which are not legislated or regulated.	Non-compliance with work policy and standard operating procedures which require self reporting to the appropriate regulator and immediate rectification.	Restiction of business operations by regulator due to non-compliance with relevant guidelines and / or significant non-compliance with policy and procedures which threaten business delivery.	Operations shut down by regulator for failing to comply with relevant guidelines / legislation and for significant non-compliance with internal procedures which could result in failure to provide business outcomes and service delivery
Rare	May occur but only in exceptional circumstances	Once every 20 - 100 years	2	4	Internal review and/or minor dissatisfaction across a small number of demographic groups or stakeholders.	Scrutiny required by internal committees or internal audit to prevent escalation and/or moderate dissatisfaction across a small number demographic groups or several stakeholders.	Local media scrutiny (1 week) and/or scrutiny required by external committees or ACT Auditor General's Office, or inquest, etc. and/or dissatisfaction across a few demographic groups or multiple stakeholders.	Intense public, political and national media scrutiny (1 week) and/or Minister / Chief Minister involvement and/or dissatisfaction across a large range of demographic groups and stakeholders.	Adverse finding from Assembly Inquiry or Commission of inquiry or sustained adverse international media and/or loss of public confidence in Govt or Public Services forcing changes to the machinery of Govt.
1			1	5	Loss of or interruption to non critical/core services up to 3 days.	Interruption of core services affecting critical infrastructure (e.g. law & order, public safety, health) or cessation of core critical services essential to business continuity for up to 3 days.	Cessation of core services affecting critical infrastructure (e.g. law & order, public safety, health) or cessation of core critical services essential to business continuity for up to 3 days and/or disruption over subsequent weeks.	Cessation of core services affecting critical infrastructure (e.g. law & order, public safety, health) or cessation of core critical services essential to business continuity for more than 1 week and/or disruption over subsequent months.	Total cessation of core services affecting critical infrastructure (e.g. law & order, public safety, health) or cessation of core critical services essential to business continuity for more than 1 week and/or disruption over subsequent months.

1.1 RISK RATINGS



Frequency	Frequency
Almost Certain	Once a year or more
Likely	Once a year or more
Possible	Once every 1-5 years
Unlikely	Once every 5-25 years
Rare	Once every 25-100 years

Priority	Indicative Evaluation	Indicative Action Plan	Authority for Action	Optical Considerations
Extreme	1 month or more	1 month or more	1 month or more	1 month or more
High	1 month or more	1 month or more	1 month or more	1 month or more
Medium	1 month or more	1 month or more	1 month or more	1 month or more
Low	1 month or more	1 month or more	1 month or more	1 month or more

Priority for Attention / Action - Indicative Evaluation - Indicative Action Plan - Authority for Action - Optical Considerations

1.2 LISTS

Risk Category	Allocation	Switch
1. Site		1
2. Design, construction and commissioning		0
3. Sponsor		0
4. Financial		0
5. Operating		0
6. Revenue		0
7. Interface		0
8. Political		0
9. Force majeure		0
10. Asset ownership		0
11.		0

Quantified	Cost Driver	Cost Driver	Cost Driver
Cost driver	CapEx	Discrete	Triangle
Actual dollars	OpEx	Continuous	PERT
	Lifecycle		Uniform
	OpEx + Lifecycle		
	Project		

Quantity
Yes
No

Quantity
Almost certain
Likely
Possible
Unlikely
Rare
Insufficient
Minor
Moderate
Major
Catastrophic

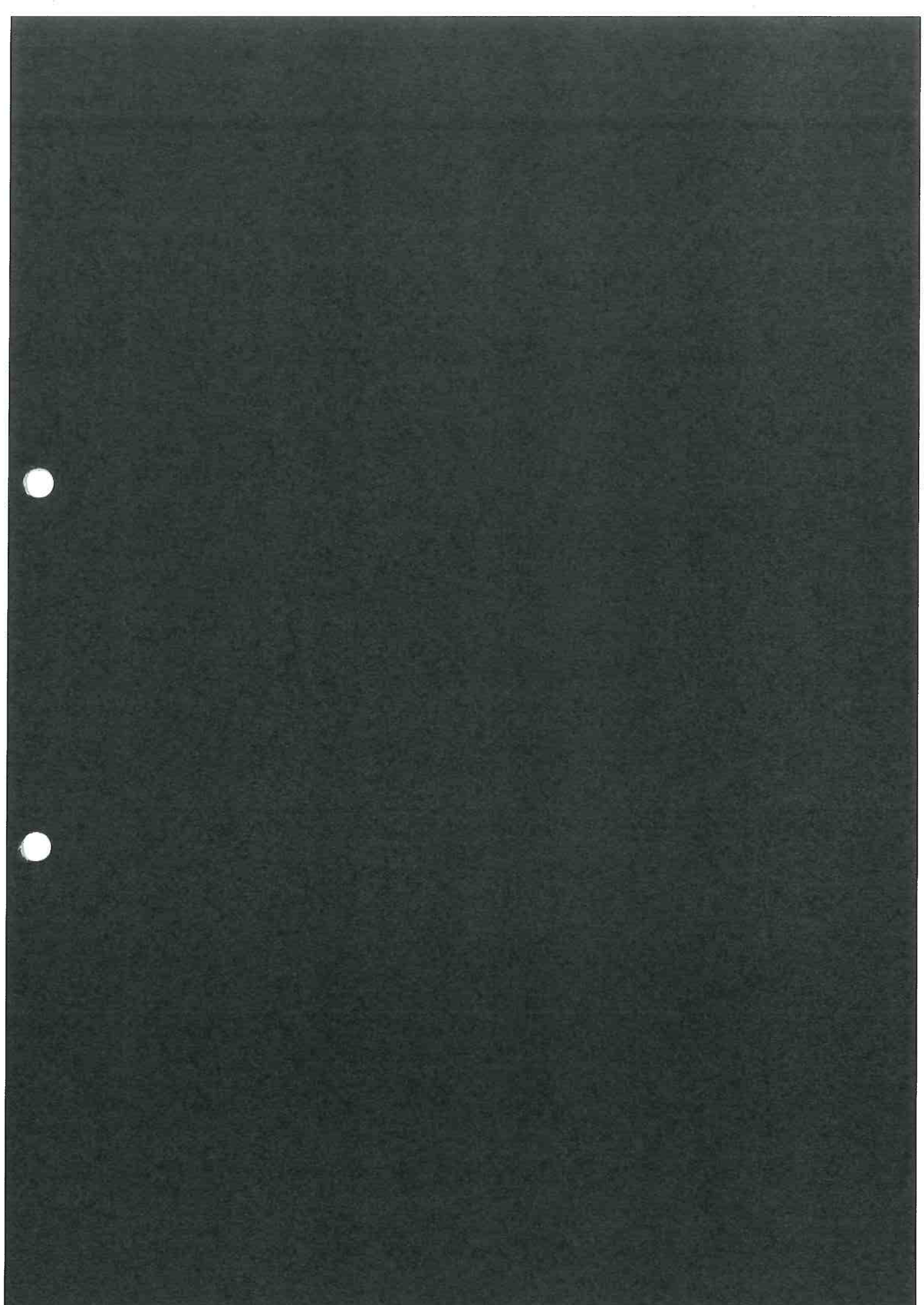
Consequence	Minor	Major	Catastrophic
Financial	10% of budget or more	10% of budget or more	10% of budget or more
People	Minor injury or property loss	Major injury or property loss	Major injury or property loss
Compliance/Regulation	Minor non-compliance	Major non-compliance	Major non-compliance
Reputation & Image	Minor damage to reputation	Major damage to reputation	Major damage to reputation
Service Delivery	Minor disruption	Major disruption	Major disruption

Control Effectiveness	Risk Control Effectiveness
Controls are well designed and operating effectively in treating the root cause of the risk. Additional controls are in place to manage the risk. Controls are well designed and operating effectively in treating the root cause of the risk. Additional controls are in place to manage the risk.	Controls are well designed and operating effectively in treating the root cause of the risk. Additional controls are in place to manage the risk. Controls are well designed and operating effectively in treating the root cause of the risk. Additional controls are in place to manage the risk.
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Risk Rating
Construction phase (stage 1)
Construction phase (stage 2)
Financial Close
End of construction phase
Operating phase (whole network)
Operating years 1-5
Operating years 6-10
Operating years 11-15
Operating years 16-20
Operating years 21-25
Operating years 26-30
Project phase
Actual cost

Consequence	Minor	Major	Catastrophic
Financial	10% of budget or more	10% of budget or more	10% of budget or more
People	Minor injury or property loss	Major injury or property loss	Major injury or property loss
Compliance/Regulation	Minor non-compliance	Major non-compliance	Major non-compliance
Reputation & Image	Minor damage to reputation	Major damage to reputation	Major damage to reputation
Service Delivery	Minor disruption	Major disruption	Major disruption







WELLBEING IMPACT ASSESSMENT

ACTHD

Northside Hospital Project Enabling Works

Purpose of proposal

The proposal seeks to deliver a program of Enabling Infrastructure Works (**The Project**) required to facilitate the delivery of the Northside Hospital Project (**NHP**).

To allow for the efficient delivery of the new hospital and to ensure continuity of the provision of existing health services throughout construction, a program of enabling works is required to relocate services currently located within the preferred site of the Northside Hospital Project and to undertake other works critical to support the ongoing operations of the hospital.

Impact description

- The Project will allow for the commencement of construction of the new NHP on existing hospital land by relocating four key services which do not need to be provided within the North Canberra Hospital.
- The Project will facilitate the decanting of the services provided in other hospital buildings that are scheduled for demolition as part of the NHP works.
- The Project will enable a series of works which are critical to supporting the operations at the North Canberra Hospital campus while the NHP is being constructed.
- The NHP in turn will meet the growing demand for health services in the Territory, by increasing hospital capacity, improving the quality of infrastructure, and integrating new medical technologies.
- The Project will allow for the continuous delivery of critical services.
- The Project will enable the delivery of Act Government commitments.
- All impacts described above will have a sustained and direct impact on general community wellbeing, and access to health services. There is also an impact on hospital patients and staff.

Who is affected?

- The Project will affect Canberrans (including people in surrounding regions) who are experiencing a range of health conditions. Family members of patients will also experience improved accessibility due to the benefits provided by the Enabling works and subsequent construction of the NHP.
- The Project will also affect staff working in the impacted services.
- The Project is expected to have a positive impact on the entire community, including the Aboriginal and Torres Strait community.
- The Project is expected to provide benefit to elder Canberrans in particular, who may likely have greater health care requirements than younger Canberrans.
- The Project is not expected to affect gender equality.

Aboriginal and Torres Strait Islander Peoples	Carers	Children and young people	Culturally and linguistically diverse people	LGBTIQ+ people	Older Canberrans	People with disability	Across gender
☒	☒	☒	☒	☒	☒	☒	☒

Wellbeing domains

- Health
- Access & Connectivity

Timeframe

- 1-2 years.

WELLBEING IMPACT ASSESSMENT

Evidence based and data

What do we know?

- The northside of Canberra is now the largest population in the Territory and will continue to experience strong population growth.
- By 2060, the population in the northside of Canberra alone is projected to grow by 285,000.
- By 2060, it is projected that 65% of Canberrans will live north of Lake Burley Griffin, an increase of approximately 11% from the present day.
- By 2060, it is expected that the percentage of the population 65 years and older will increase from 13.3% to 14.6%.
- This ageing population in conjunction with the geographical trend of Canberrans moving to the north side will increase the strain on the current resources at the Northside Hospital.
- The current infrastructure of the Northside Hospital is not suited to support the inevitable growth in demand for health services. The majority of the buildings within the Northside Hospital are approaching end of life and will require significant capital intervention as they continue to deteriorate.

What do we need to know?

In order to begin construction of the new Northside Hospital Project, there is a requirement to decant the existing infrastructure on the land, which introduces the need to answer the following questions:

- Where will the existing services be relocated to?
- How will the current consumers of these services be affected by a change of location?
- How will the current hospital facilities be utilised during development?

Collaboration and Engagement

- **Key internal collaborators:** Australian Capital Territory Health Department (ACTHD), Major Projects Canberra (MPC), Environment, Planning and Sustainable Development Directorate (EPSDD).
- **Key external stakeholders:** KPMG, Arup, BVN, PlanIt, Cox Architecture, and the broader ACT community.

Preliminary consultation has occurred with key stakeholders who will be impacted by the Project. Stakeholder consultation will continue in the design phases associated with the Project to ensure project outcomes are documented and the Project delivers on key requirements for staff, medical specialists and patients. This includes ensuring the identified infrastructure upgrades align with contemporary building service standards.

ACTHD will prepare relevant communication messages to ensure adequate stakeholder consultation is undertaken as part of the Project, including relevant Stakeholder Engagement Plans as required to ensure the design incorporates stakeholder feedback.

Noting that Aboriginal and Torres Strait Islander Peoples have not been directly identified to benefit from the Project, there has not been any direct consultation with ACT Aboriginal and Torres Strait Islander Elected Body, or any other Aboriginal and Torres Strait Islander representative bodies.

Measures of Success

This proposal will be successful if it achieves the following outcomes:

- The successful relocation of the Bruce Ridge Early Childhood Centre (BRECC), the Gawanggal Mental Health Unit, the Alcohol and Other Drugs (AOD) Residential Unit (Arcadia House), and the Child and Adolescent Mental Health Services unit (CAHMS).
- The continuous delivery of critical services throughout the decanting process.
- The timely delivery of the Northside Hospital Project.
- Improved accessibility of services.
- Improved continuity of service delivery.
- Improved site readiness for development.
- Positive feedback from patients and family members.

WELLBEING IMPACT ASSESSMENT

Planned Evaluation

The Project relates to several existing policies and programs, including (but not limited to):

- **A Framework for the ACT Public Health System (2020-2030)** which articulates the Governments vision and provides the foundation for a person centered, innovative, high performing public health system for the Territory.
- **The Act Health Services Plan (2022-2030)** which identifies the strong and sustained population growth within the ACT, particularly on the northside. The Plan recognizes the importance of expanding health services for ACT residents, specifically to progress planning for the new Northside Hospital.
- **The ACT Infrastructure Plan Update** which articulates the Governments vision and provides the foundation for a person centered, innovative, high performing public health system for the Territory.
- **The Parliamentary and Governing Agreement** which sets out the Territory's plan to invest in a new Northside Hospital to replace ageing infrastructure and improve the overall efficiency and effectiveness of the Territory wide health system.

Regarding evaluation of the proposal, several Key performance Indicators have been developed to measure the success of the Project, including (but not limited to):

- Improved timeliness of access to health services.
- Reduced rate of unplanned re -admissions.
- Relieve pressure on emergency department admissions.
- Improved patient quality of remaining life.
- Improved [patient and family experience.

